


Lake Placid / Whiteface Mountain KOA Holiday - Riverside

5644 NYS Route 86, Wilmington, NY 12997

PREPARED FOR:



Kampgrounds of America, Inc.
550 N 31st Street
Billings, MT 59101
(509)440-1104

SUBMISSION:

SPECIAL USE PERMIT /
SITE PLAN AND VARIANCE APPLICATIONS
February 20, 2024

SHEET INDEX:

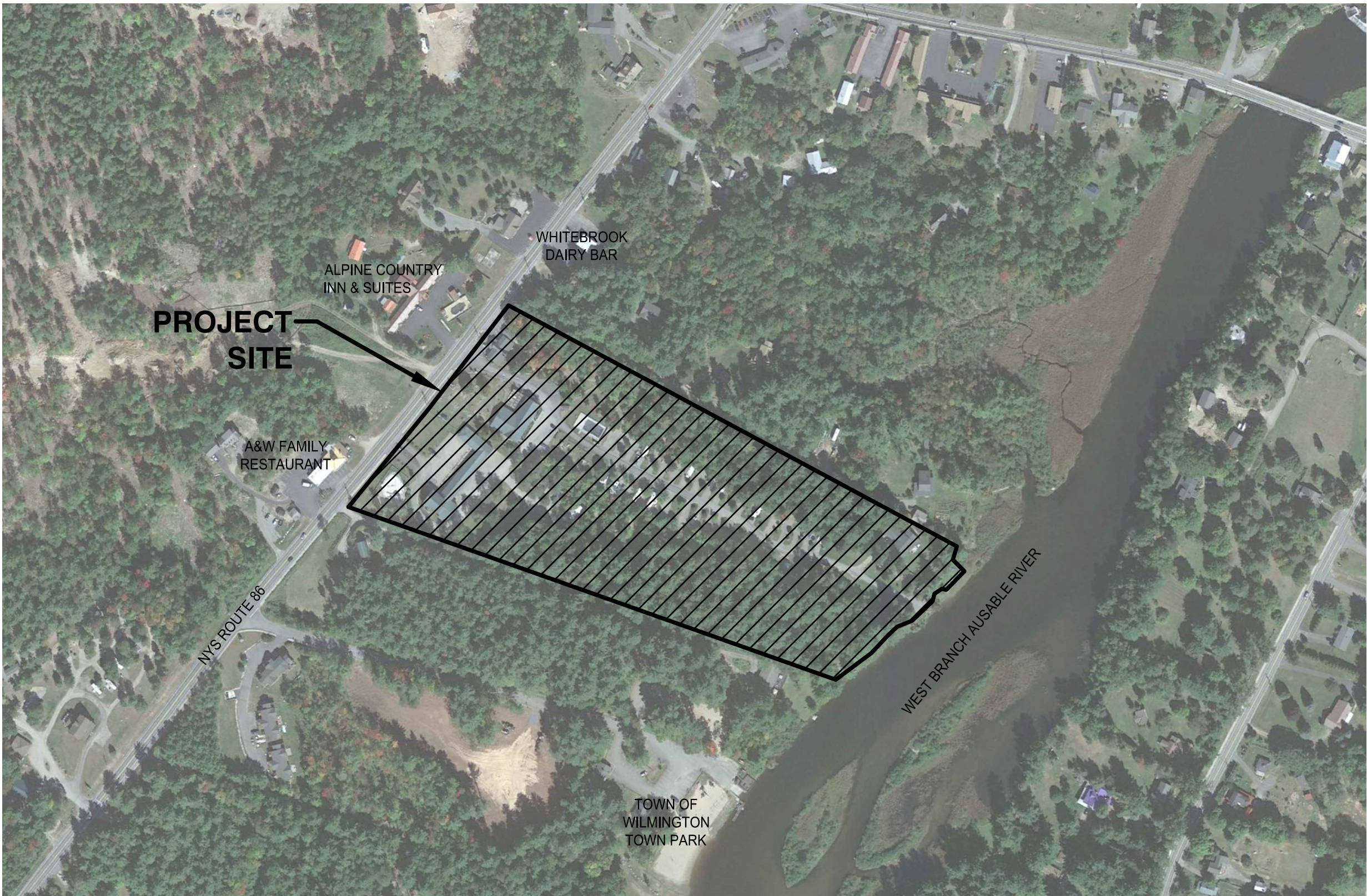
SURVEY	
	SITE / TOPOGRAPHIC SURVEY
	ALTA SURVEY INCLUDING WETLAND / RIVER EDGE
LANDSCAPE ARCHITECTURE	
L-100	OVERALL SITE PLAN
L-101	VARIANCE DIAGRAM
L-200	SITE DEMOLITION PLAN
L-300	EROSION & SEDIMENT CONTROL PLAN
L-400	SITE LAYOUT PLAN
L-500	SITE MATERIALS PLAN
L-600	SITE GRADING AND DRAINAGE PLAN
L-700	SITE PLANTING PLAN
L-800-803	SITE DETAILS
L-804	NOTES
L-900	SITE PHOTOMETRIC PLAN
SEWER AND WATER ENGINEERING	
C-100	UTILITY PLAN
C-200	SANITARY PROFILES
C-201	WATER LINE A PROFILE
C-202	WATER LINE B PROFILE
C-203	WATER LINE C PROFILE
C-300	SEPTIC DETAILS
C-301-302	SEWER DETAILS
C-303	SOIL INFO & SEWER DETAILS
C-304	WATER DETAILS
ELECTRICAL	
	ELECTRICAL DISTRIBUTION PLAN



REGIONAL MAP



SCALE: N.T.S.



PROJECT VICINITY MAP



SCALE: 1"=250'

PREPARED BY:

LANDSCAPE ARCHITECT/ENGINEER:



The LA GROUP
Landscape Architecture & Engineering P.C.
People. Purpose. Place.
40 Long Alley
Saratoga Springs, NY 12866
518-587-8100
518-587-0180
www.thelagroup.com

CIVIL ENGINEER:



North Woods
Engineering PLLC
348 Lake Street
Saranac Lake, NY 12983
(518) 691-4875
www.north-woods-engineering.com
New York State Certified
Service-Disabled Veteran-Owned Business

SURVEYORS:



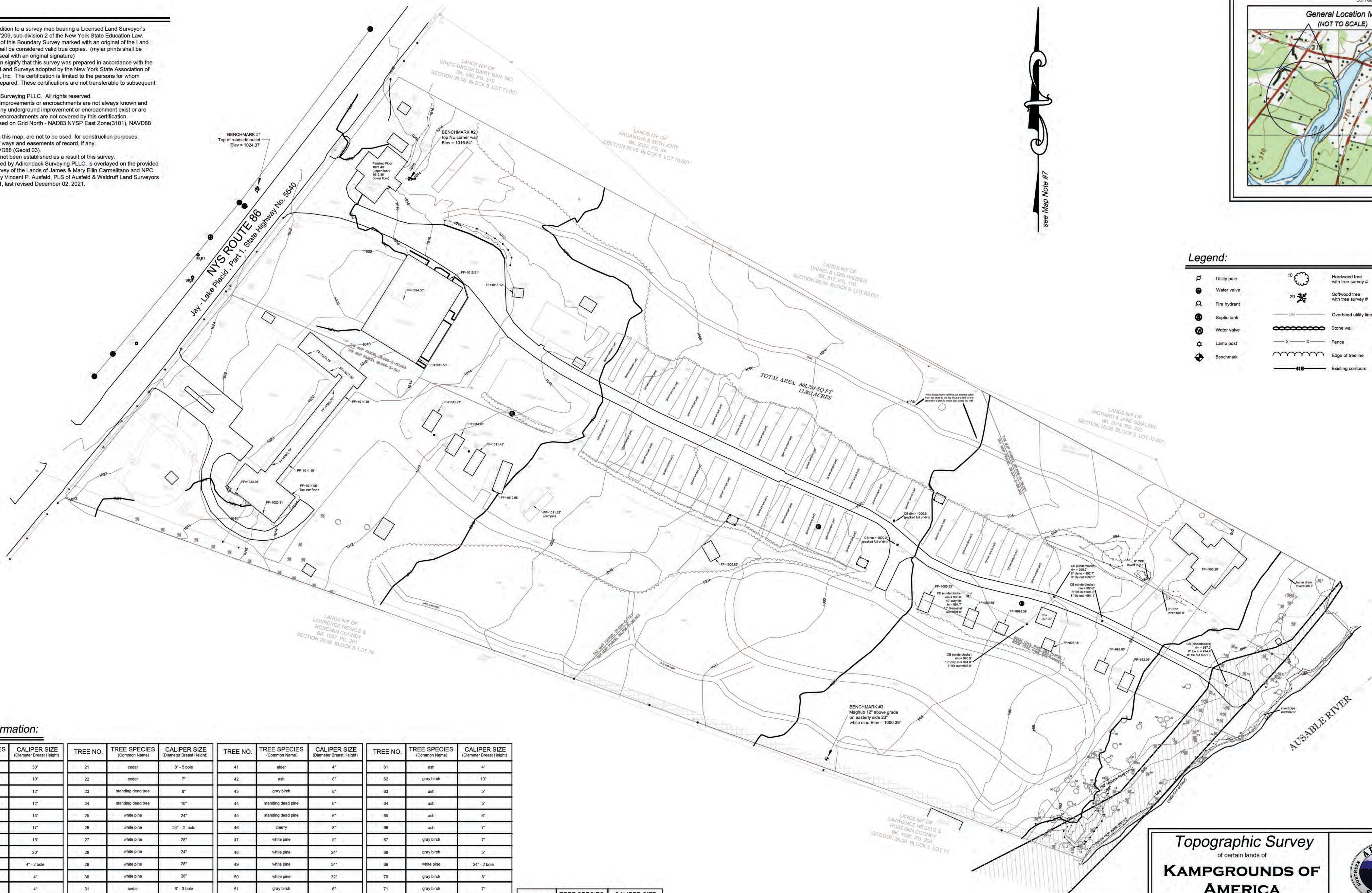
Ausfeld & Waldruff Land Surveyors LLP
323 Clinton Street
Schenectady, NY
(518) 346-1595



Adirondack Surveying PLLC
PO Box 334
Jay, New York 12941
(518) 946-7571

Map Notes:

1. Unauthorized alteration or addition to a survey map bearing a Licensed Land Surveyor's seal is a violation of section 7209, sub-division 2 of the New York State Education Law.
2. Only copies from the original of this Boundary Survey marked with an original of the Land Surveyor's embossed seal shall be considered valid true copies. (mylar prints shall be stamped with the surveyor's seal with an original signature)
3. Certifications indicated hereon signify that this survey was prepared in accordance with the existing Code of Practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors, Inc. The certification is limited to the persons for whom the Topographic Survey is prepared. These certifications are not transferable to subsequent owners.
4. Copyright 2022, Adirondack Surveying PLLC. All rights reserved.
5. The location of underground improvements or encroachments are not always known and often must be estimated. If any underground improvement or encroachment exist or are shown, the improvements or encroachments are not covered by this certification.
6. North arrow and bearings based on Grid North - NAD83 NYSP East Zone(3101), NAVD88 (Geoid 03)
7. Building offsets, as shown on this map, are not to be used for construction purposes.
8. Subject to any and all right of ways and easements of record, if any.
9. Vertical datum based on NAVD88 (Geoid 03).
10. Riparian rights, if any, have not been established as a result of this survey.
11. Topographic Survey, prepared by Adirondack Surveying PLLC, is overlaid on the provided "ALTANSPS Land Title Survey of the Lands of James & Mary Elin Carmeliano and NPC Wilmington Inc." prepared by Vincent P. Ausfeld, PLS of Ausfeld & Waldruff Land Surveyors LLP dated October 23, 2021, last revised December 02, 2021.



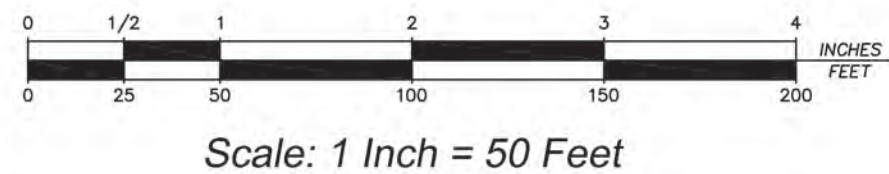
Legend:

- Utility pole
- Water valve
- Fire hydrant
- Septic tank
- Water valve
- Lamp post
- Benchmark
- Hardwood tree with tree survey #
- Softwood tree with tree survey #
- Overhead utility line
- Stone wall
- Fence
- Edge of tree line
- Existing contours

Tree Survey Information:

TREE NO.	TREE SPECIES (Common Name)	CALIPER SIZE (Diameter Breast Height)	TREE NO.	TREE SPECIES (Common Name)	CALIPER SIZE (Diameter Breast Height)	TREE NO.	TREE SPECIES (Common Name)	CALIPER SIZE (Diameter Breast Height)	TREE NO.	TREE SPECIES (Common Name)	CALIPER SIZE (Diameter Breast Height)
1	white pine	30"	21	cedar	8" - 5 bole	41	ash	4"	61	ash	4"
2	gray birch	10"	22	cedar	7"	42	ash	8"	62	gray birch	10"
3	gray birch	12"	23	standing dead tree	8"	43	gray birch	8"	63	ash	5"
4	gray birch	12"	24	standing dead tree	10"	44	standing dead pine	6"	64	ash	5"
5	cedar	13"	25	white pine	24"	45	standing dead pine	6"	65	ash	6"
6	white pine	17"	26	white pine	24" - 2 bole	46	cherry	8"	66	ash	7"
7	white pine	10"	27	white pine	28"	47	white pine	5"	67	gray birch	7"
8	white pine	20"	28	white pine	24"	48	white pine	24"	68	gray birch	5"
9	spruce	4" - 2 bole	29	white pine	28"	49	white pine	34"	69	white pine	24" - 2 bole
10	spruce	4"	30	white pine	28"	50	white pine	32"	70	gray birch	8"
11	spruce	4"	31	cedar	6" - 3 bole	51	gray birch	6"	71	gray birch	7"
12	spruce	10"	32	cedar	9" - 6 bole	52	ash	8"	72	gray birch	5"
13	white pine	32"	33	cedar	9" - 4 bole	53	gray birch	7"	73	gray birch	8"
14	cherry	16"	34	maple	14"	54	white pine	28"	74	white pine	28"
15	cedar	9" - 6 bole	35	gray birch	9"	55	gray birch	12"	75	white pine	16"
16	cedar	7" - 4 bole	36	gray birch	7"	56	gray birch	8"	76	gray birch	7"
17	cedar	8" - 7 bole	37	gray birch	8"	57	gray birch	10"	77	standing dead ash	7"
18	cedar	8" - 6 bole	38	maple	10"	58	gray birch	10" - 2 bole	78	standing dead ash	6"
19	cedar	10" - 6 bole	39	hardwood clump	48"	59	gray birch	9"	79	hardwood clump	18"
20	cedar	10" - 6 bole	40	hardwood clump	38"	60	ash	7"	80	white pine	28"

TREE NO.	TREE SPECIES (Common Name)	CALIPER SIZE (Diameter Breast Height)
81	white pine	22"
82	white pine	38"
83	maple	6"
84	white pine	28"
85	gray birch	7"
86	gray birch	9"
87	gray birch	12" - 2 bole
88	poplar	8"



Topographic Survey
of certain lands of
KAMP GROUNDS OF AMERICA
known as
"RIVERSIDE"
- Situate -
Town of Wilmington
Essex County State of New York

ADIRONDACK SURVEYING PLLC.
PO BOX 334
JAY, NEW YORK 12941
518.946.7571
ADIRONDACKSURVEYING.COM
INFO@ADIRONDACKSURVEYING.COM

PROJECT SURVEYOR
Ralph C. Schisler III, L.S.
NYS License No. 050409

Project No.	2022-019	Scale	1" = 50'	Revision Date		Revision Description	
Date of Survey	04/11/22	Drawn by	R. Schisler				
Date of Map	05/17/22	Checked by	R. Schisler				

LEGEND:

- CAPED IRON ROD FOUND
□ CATCH BASIN
— DRAINAGE MANHOLE
□ ELECTRIC BOX
□ ELECTRIC TRANSFORMER
□ ELECTRIC MANHOLE
— HYDRANT
— LIGHT POLE
— SANITARY MANHOLE
— TELEPHONE MANHOLE
— TRAFFIC CONTROL BOX
— TRAFFIC SIGNAL POLE
— WATER VALVE
— UTILITY POLE
— OVERHEAD WIRES
— LANDSCAPED AREA
— ROOF DRAIN
+ 30.28 SPOT ELEVATION
— SOL BORING
— MONITORING WELL
— GAS MARKER POST
— ELECTRIC METER
— GAS METER
— SIGN (1 POST)
— SIGN (2 POSTS)
— YARD LIGHT
— DENOTES FEMA FLOOD ZONE
— DENOTES EASEMENT ITEM 14

SITE ADDRESS:

TAX MAP PARCEL 79.1:
5636 NYS ROUTE 86
WILMINGTON, NY, 12997

TAX MAP PARCEL 80.003:
5644 NYS ROUTE 86
WILMINGTON, N.Y. 12997

TAX MAP PARCEL 39.001:
5646 NYS ROUTE 86
WILMINGTON, NY 12997

SURVEY NOTES:

1. THE PROPERTY SHOWN HEREON IS ONE AND THE SAME AS THE PROPERTY DESCRIBED IN THE FIDELITY NATIONAL TITLE CERTIFICATE FOR TITLE INSURANCE ISSUED BY FIDELITY NATIONAL TITLE, TITLE NO. FT21-03593-NCS, DATED OCTOBER 16, 2021, AND THE VESTED LEGAL DESCRIPTION OF THE PROPERTY.
2. TAX MAP PARCEL ID NO'S. 26.006-5-79.1, 26.006-5-80.003 AND 26.006-5-39.001 (AS SHOWN ON THE SURVEY) ARE CONTIGUOUS ALONG THEIR COMMON BOUNDARY AND THERE ARE NO GAPS, STRIPS OR CORES LYING WITHIN OR BETWEEN THEM.
3. THE PROPERTY HAS DIRECT ACCESS TO NYS ROUTE 86 - A PUBLIC ROAD.
4. TABLE A, ITEM 17 - THERE ARE NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED TO THE BEST OF MY KNOWLEDGE, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.
5. THERE ARE NO OBSERVED EVIDENCE OF RECENT EARTH MOVING OR CONSTRUCTION.

TAX PARCEL NUMBER:

TOWN OF WILMINGTON, ESSEX COUNTY, NEW YORK
SEC. 26.06 - BLK. 5 - PARCELS 39.001, 79.100 & 80.003

DEED REFERENCES:

1. JAMES AND MARY ELLIN CARMELITNO TO JAMES AND MARY ELLIN CARMELITNO, DATED MARCH 20, 2000 AND RECORDED IN THE ESSEX COUNTY CLERKS OFFICE IN DEED BOOK 1242 AT PAGE 288.
2. ADIRONDACK BANK NATIONAL ASSOCIATION TO NPC WILMINGTON, INC., DATED MARCH 20, 1996 AND RECORDED IN THE ESSEX COUNTY CLERKS OFFICE IN DEED BOOK 1108 AT PAGE 148.
3. JAMES AND MARY ELLIN CARMELITNO TO JAMES AND MARY ELLIN CARMELITNO, DATED MARCH 20, 2000 AND RECORDED IN THE ESSEX COUNTY CLERKS OFFICE IN DEED BOOK 1242 AT PAGE 283.

GENERAL NOTES:

HORIZONTAL DATUM IS NEW YORK STATE PLANE EAST ZONE, ESTABLISHED FROM GPS OBSERVATIONS AT THE TIME OF SURVEY

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2 OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S INKED SEAL OR HIS EMBOSSED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

SURVEYED FROM RECORD DESCRIPTION AND AS IN POSSESSION.

SURVEY SHOWN IS SUBJECT TO ANY SUBSURFACE CONDITIONS THAT MAY EXIST, IF ANY.

NOTES CORRESPONDING TO CERTIFICATE FOR TITLE INSURANCE:

(P) PLOTTED ON SURVEY, (O)=OUTSIDE PROJECT AREA, (N) NOT ABLE TO PLOT.

BASED UPON REVIEW OF FIDELITY NATIONAL TITLE INSURANCE COMPANY CERTIFICATE OF TITLE INSURANCE, TITLE NO. FT21-03593-NCS, EFFECTIVE DATE OCTOBER 16, 2021, SCHEDULE B-II:

ITEM NO 8: SUBJECT TO WATER RIGHTS RECORDED IN BOOK 146, PAGE 454. WATER RIGHTS ARE FOR FLOATING LOGS ETC. DEED STATES "TO CONTINUE SO LONG AS THE SAID PARTY OF THE SECOND PART SHALL USE THE SAID STREAM FOR THE PURPOSES HERETOFORE MENTIONED. ASSUMED THIS WATER RIGHT IS EXTINGUISHED.

ITEM 9: EASEMENT TO NYSE&G, BOOK 700, PAGE 38 AFFECTS THE PREMISE AND IS SHOWN HEREON.

ITEM 10: EASEMENT TO NYSE&G, BOOK 309, PAGE 229 EASEMENT IS NOT PLOTTABLE AS DESCRIBED. ASSUMED LOCATION SHOWN HEREON.

ITEM 11: EASEMENT TO NYSE&G RECORDED IN BOOK 309, PAGE 364. EASEMENT IS NOT PLOTTABLE AS DESCRIBED. ASSUMED LOCATION SHOWN HEREON.

ITEM 14: SUBJECT TO A TEN FOOT WIDE EASEMENT AND 20 FOOT BY 20 FOOT EASEMENT RECORDED IN DEED BOOK 993, PAGE 346.

ITEM 17: UNDERGROUND LINE EASEMENT RECORDED IN BOOK 1177, PAGE 202. AFFECTS THE PREMISE AND IS SHOWN HEREON.

ITEM 18: EASEMENT TO NYSE&G RECORDED IN BOOK 1233, PAGE 134. AFFECTS THE PREMISE AND IS SHOWN HEREON. THE LOCATION OF THE UNDERGROUND UTILITY LINE IS UNKNOWN.

LEGAL DESCRIPTION FROM CERTIFICATE OF TITLE INSURANCE - TITLE NO. FT21-03593-NCS SCHEDULE A:

AS TO 5646 NYS ROUTE 86:

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF WILMINGTON, COUNTY OF ESSEX, STATE OF NEW YORK, BEING PART OF LOT 33, MALLORY'S GRANT LYING EAST OF NEW YORK STATE ROUTE 86 AND WEST OF THE WEST BRANCH OF THE AUSABLE RIVER AND IS MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE MOST NORTHERLY CORNER OF THE PREMISES MARKED BY A 5/8 INCH IRON ROD WITH CAP, SAID POINT BEING THE FOLLOWING TWO (2) COURSES FROM A 3/4 INCH IRON PIPE IN THE SOUTHEAST BOUNDS OF NEW YORK STATE ROUTE 86 WHICH LIES 304.52 FEET SOUTHWEST OF WHITE BROOK: 1. SOUTH 49° 25' 55" EAST, 395.00 FEET; 2. SOUTH 49° 27' 22" EAST, 349.45 FEET; THENCE, SOUTH 49° 27' 22" EAST, 450.00 FEET ALONG THE SOUTHWEST LINE OF CERTAIN LANDS OF RICHARD M. SIBALSKI AND JANE F. SIBALSKI, DEED BOOK 772 PAGE 4, TO A POINT ON THE WEST BANK OF THE WEST BRANCH OF THE AUSABLE RIVER, SAID COURSE PASSING THROUGH A 1/2 INCH IRON PIPE LINE MARKER AT A DISTANCE OF 440.00 FEET; THENCE, SOUTHERLY 130 FEET MORE OR LESS ALONG THE WEST BANK OF THE WEST BRANCH OF THE AUSABLE RIVER ON THE FOLLOWING THREE (3) COURSES TO A POINT AT THE SOUTHERLY CORNER: 1. SOUTH 29° 37' 10" WEST, 32.66 FEET TO A POINT; 2. SOUTH 32° 53' 59" EAST, 40.69 FEET TO A POINT; 3. SOUTH 55° 14' 56" WEST, 65.59 FEET TO A POINT; THENCE, NORTH 48° 23' 02" WEST, 246.21 FEET ALONG THE SOUTHWESTERLY LINE TO A 5/8 INCH IRON ROD WITH CAP, SAID COURSE PASSING THROUGH A 5/8 INCH IRON ROD LINE MARKER AT A DISTANCE OF 51.00 FEET; THENCE, NORTH 56° 28' 45" WEST, 95.11 FEET ALONG THE SOUTHWESTERLY LINE TO A 5/8 INCH IRON ROD WITH CAP; THENCE, NORTH 09° 51' 36" WEST, 179.07 FEET ALONG THE WEST LINE TO THE POINT-OF-BEGINNING, TOGETHER WITH A RIGHT OF WAY FOR ALL NORMAL PURPOSES OF INGRESS AND EGRESS OVER THE EXISTING DRIVE FROM THE SOUTHWEST LINE OF THE PREMISES SOUTHWEST AND NORTHWEST TO NEW YORK STATE ROUTE 86.

SITE LOCATION PLAN: 1"=2000'

SURVEY LEGAL DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF WILMINGTON, COUNTY OF ESSEX AND STATE OF NEW YORK, BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT LOCATED IN THE EASTERLY LINE OF N.Y.S. ROUTE 86, SAID POINT BEING THE INTERSECTION FORMED BY SAID EASTERLY LINE OF ROUTE 86 WITH THE DIVISION LINE BETWEEN THE LANDS NOW OR FORMERLY OF LAWRENCE HEGELE & ROSEANN COONEY (BOOK 1097, PAGE 201) ON THE SOUTH AND THE LANDS NOW OR FORMERLY OF NPC WILMINGTON (BOOK 1108, PAGE 148) ON THE NORTH; THENCE ALONG SAID N.Y.S. ROUTE 86, THE FOLLOWING TWO COURSES: 1) NORTH 39°16'10" EAST, 295.09 FEET TO A POINT AND 2) NORTH 37°39'58" EAST, 308.58 FEET TO A POINT; THENCE ALONG THE LANDS NOW OR FORMERLY OF WHITE BROOK DAIRY BAR, INC. (BOOK 989, PAGE 315), LANDS NOW OR FORMERLY OF SAMANTHA & SETH JORY (BOOK 2033, PAGE 441), LANDS NOW OR FORMERLY OF DANIEL & LORE HANSEN (BOOK 817, PAGE 170) AND THE LANDS NOW OR FORMERLY OF RICHARD & JANE SIBALSKI (BOOK 2014, PAGE 222), SOUTH 61°44'21" EAST, 1103.89 FEET TO A POINT; THENCE ALONG THE WESTERLY BANK OF THE AUSABLE RIVER, THE FOLLOWING ELEVEN COURSES: 1) SOUTH 17°20'08" WEST, 32.66 FEET TO A POINT; 2) SOUTH 45°11'01" EAST, 38.37 FEET TO A POINT; 3) SOUTH 44°25'38" WEST, 61.24 FEET TO A POINT; 4) NORTH 74°54'33" WEST, 10.10 FEET TO A POINT; 5) SOUTH 56°45'26" WEST, 20.84 FEET TO A POINT; 6) SOUTH 14°29'43" WEST, 18.77 FEET TO A POINT; 7) SOUTH 46°24'49" WEST, 65.86 FEET TO A POINT; 8) SOUTH 68°31'57" WEST, 37.86 FEET TO A POINT; 9) SOUTH 46°05'43" WEST, 32.05 FEET TO A POINT; 10) SOUTH 43°11'55" WEST, 54.19 FEET TO A POINT AND 11) SOUTH 53°11'48" WEST, 104.76 FEET TO A POINT; THENCE ALONG THE LANDS NOW OR FORMERLY OF LAWRENCE HEGELE & ROSEANN COONEY (BOOK 1097, PAGE 209) AND CONTINUING ALONG THE FIRST MENTIONED LANDS OF HEGELE & COONEY, NORTH 70°28'24" WEST, 1212.59 FEET TO THE POINT OR PLACE OF BEGINNING, CONTAINING IN ALL 13.803 ACRES OF LAND MORE OR LESS.

NOTE:

THE ABOVE LEGAL DESCRIPTION MATCHES THE LEGAL/PROPERTIES IDENTIFIED BY THE CERTIFICATE FOR TITLE INSURANCE AS SHOWN HEREON.

FLOOD ZONE NOTE:

PORTION OF THE PROPERTY SHOWN LIES WITHIN A SPECIAL FLOOD HAZARD AREA ("SFHA") AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; PORTION LIES WITHIN "ZONE A" NO FLOOD ELEVATIONS DETERMINED AND PORTION LIES WITHIN "ZONE AE", BASE ELEVATIONS DETERMINED. THE REMAINDER OF THE PROPERTY LIES WITHIN "X". AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP IDENTIFIED AS COMMUNITY PANEL NUMBER 361161 0022 C, PANEL 22 OF 50, OF THE TOWN OF WILMINGTON, ESSEX COUNTY, N.Y., MP REVISED NOVEMBER 16, 1995.

CERTIFICATION:

THIS IS TO CERTIFY TO KAMPGROUNDS OF AMERICA, INC. (KOA), FIDELITY NATIONAL TITLE INSURANCE COMPANY, NPC WILMINGTON, INC., JAMES CARMELITANO AND MARY ELLIN CARMELITANO, THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2001 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. ALSO INCLUDED ARE THE FOLLOWING ITEMS FROM TABLE A: ITEMS 1, 2, 3, 4, 7, (b) (1), 8, 11, 14, 17, 18 AND 19. THE FIELD WORK WAS COMPLETED IN OCTOBER, 2021.

SIGNED: _____ DATE: _____ AUGUST 12, 2022

N.Y.S. REGISTRATION NO. 049597

6/8/22	WETLAND REVISION	8/5/22	WETLANDS ADDED	7/6/22	REVISION PER COMMENTS	11/20/21	REVISION	11/24/21	REVISION
5636 NYS ROUTE 86, 5644 NYS ROUTE 86 & 5646 NYS ROUTE 86									
ALTA/NSPS LAND TITLE SURVEY OF THE LANDS OF JAMES & MARY ELLIN CARMELITANO AND NPC WILMINGTON INC.									
TOWN OF WILMINGTON					ESSEX COUNTY, N.Y.				
SCALE: 1"=400'					OCTOBER 23, 2021				
DRAWN BY: KDW					PROJECT NO: 21-3079				
AUSFELD & WALDRUFF LAND SURVEYORS LLP					VINCENT P. AUSFELD P.L.S.				
323 CLINTON STREET, SCHENECTADY NY					LICENSE NUMBER				
PHONE: (518) 346-1595					FAX: (518) 770-1655				
					www.ausfild.com				

LEGAL DESCRIPTION FROM CERTIFICATE OF TITLE INSURANCE - TITLE NO. FT21-03593-NCS SCHEDULE A:

AS TO 5636 NYS ROUTE 86:
ALL THAT TRACT, PART, PIECE OR PARCEL OF LAND, SITUATE IN LOTS 33 AND 34, MALLORY'S GRANT, TOWN OF WILMINGTON, COUNTY OF ESSEX, STATE OF NEW YORK, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A 3/4 INCH IRON PIPE FOUND IN THE SOUTHERLY BOUNDS OF NEW YORK STATE HIGHWAY ROUTE 86, AND AT THE MOST NORTHERLY CORNER OF A PARCEL OF LAND BELONGING (N/F), TO BETTY JANE SMART, BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 725 OF DEEDS AT PAGE 176, AND RUNNING THENCE N 57° 07' 56" E, ALONG SAID SOUTHERLY BOUNDS, A DISTANCE OF 296.17 FEET, TO A 1 INCH IRON PIPE FOUND IN THE MOST WESTERLY CORNER OF A PARCEL OF LAND BELONGING TO RICHARD D. RALTON AND MARIES L. RALTON, BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 810 ON OF DEEDS AT PAGE 339; THENCE TURNING AND RUNNING S 48° 57' 21" E, ALONG THE SOUTHERLY BOUNDS OF RALTON (L810-P339), PASSING THROUGH AN IRON ROD AT 99.94 FEET, AND PASSING THROUGH A 3/4 INCH IRON PIPE AT 200.24 FEET, A TOTAL DISTANCE OF 614.50 FEET, TO THE MOST NORTHERLY CORNER OF A PARCEL OF LAND BELONGING TO RICHARD D. RALTON AND MARIES L. RALTON, BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 993 OF DEEDS AT PAGE 346; THENCE TURNING AND RUNNING S 61° 14' 53" W, ALONG THE NORTHERLY LINE OF RALTON (L P), A DISTANCE OF 255.24 FEET, TO THE MOST WESTERLY CORNER THEREOF, BEING A 1/2 INCH IRON PIPE SET IN THE NORTHEASTERLY BOUNDS OF THE AFOREMENTIONED PREMISES OF (N/F) BETTY JANE SMART (L725-P176); THENCE TURNING AND RUNNING N 53° 11' 24" W, ALONG THE NORTHEASTLY BOUNDS OF LANDS (N/F) OF SMART (L725-P176), A DISTANCE OF 700.31 FEET, TO THE POINT OR PLACE OF BEGINNING. TOGETHER WITH A PEDESTRIAN EASEMENT TO THE SHORE OF THE AUSABLE RIVER DESCRIBED AS FOLLOWS: THE PARTY OF THE FIRST PART HEREBY GRANTS UNTO THE PARTIES OF THE SECOND PART HEREIN, THEIR SUCCESSORS AND ASSIGNS AN EASEMENT TEN FEET IN WIDTH FOR PEDESTRIAN ACCESS TO THE SHORE OF THE AUSABLE RIVER. THE SAID RIGHT OF WAY SHALL BE BOUNDED ON THE SOUTHWEST BY THE SOUTHWEST BOUNDARY OF THE PARCEL CONVEYED BY THE PARTY OF THE FIRST PART TO RICHARD AND MARIES RALTON, ON THE NORTHEAST BY A LINE PARALLEL TO AND TEN FEET IN DISTANCE FROM THE SOUTHWEST BOUNDARY OF SAID PARCEL, AND SHALL RUN GENERALLY SOUTHEAST FROM THE COMMON BOUNDARY BETWEEN THE PARCEL HEREBY CONVEYED AND THE PARCEL CONVEYED TO RICHARD AND MARIES RALTON, A DISTANCE OF APPROXIMATELY 585 FEET TO A POINT TWENTY FEET DISTANT FROM THE SHORE OF THE AUSABLE RIVER. THE PARTY OF THE FIRST PART GRANTS TO THE PARTIES OF THE SECOND PART, THEIR SUCCESSORS AND ASSIGNS AN EASEMENT FOR WALKING, SWIMMING, BOATING AND FISHING 20 FEET WIDE BY 20 FEET DEEP ALONG THE SHORE OF THE AUSABLE RIVER AT THE TERMINUS OF THE ABOVE DESCRIBED 10 FOOT PEDESTRIAN EASEMENT. THE EASEMENTS SHALL RUN WITH THE LAND FOR THE BENEFIT OF THE PROPERTY HEREIN CONVEYED BY THE PARTY OF THE FIRST PART, ITS OWNERS AND THE GUESTS AND INVITEES OF ANY OWNERS, INCLUDING MOTEL GUESTS.

LEGAL DESCRIPTION FROM CERTIFICATE OF TITLE INSURANCE - TITLE NO. FT21-03593-NCS SCHEDULE A:

AS TO 5644 NYS ROUTE 86
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE TOWN OF WILMINGTON, COUNTY OF ESSEX, STATE OF NEW YORK, BRIEFLY DESCRIBED AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE SOUTHEAST LIMIT OF HIGHWAY #86 WITH THE SOUTHWEST BANK OF WHITE BROOK; THENCE SOUTHWESTERLY ALONG THE HIGHWAY LIMIT, 309.39 FEET TO A CEDAR STAKE WHICH IS THE POINT OF BEGINNING AND WHICH IS ALSO THE NORTHWEST CORNER OF PARCEL #1 AS SHOWN ON A SURVEY OF WILMINGTON DEVELOPMENT COMPANY PROPERTY BY NORMAN BRIGGS, L.S., DATED JULY 1, 1952; THENCE S 50° 00' W, ALONG THE HIGHWAY LIMIT, 309.39 FEET TO A CEDAR STAKE; THENCE S 34° 00' 00" E, 1209.50 FEET TO A 4" X 4" CEDAR POST ON THE BANK OF THE AUSABLE RIVER; THENCE NORTHEASTERLY APPROXIMATELY 210 FEET; FOLLOWING THE RIVER BANK, TO A 4" X 4" CEDAR POST WHICH IS ALSO THE SOUTHWEST CORNER OF PARCEL #1; THENCE N. 49° 29' 50" W, 1180.73 FEET TO THE POINT OF BEGINNING. EXCEPTING FROM THE ABOVE DESCRIBED PARCEL: ALL THAT TRACT OR PARCEL OF LAND SITUATE IN THE TOWN OF WILMINGTON, COUNTY OF ESSEX, STATE OF NEW YORK, BEING PART OF LOT 33, MALLORY'S GRANT LYING EAST OF NEW YORK STATE ROUTE 86 AND WEST OF THE WEST BRANCH OF THE AUSABLE RIVER AND IS MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A POINT AT THE MOST NORTHERLY CORNER OF THE PREMISES MARKED BY A 5/8 INCH IRON ROD WITH CAP, SAID POINT BEING THE FOLLOWING TWO (2) COURSES FROM A 3/4 INCH IRON PIPE IN THE SOUTHEAST BOUNDS OF NEW YORK STATE ROUTE 86 WHICH LIES 304.52 FEET SOUTHWEST OF WHITE BROOK: 1. SOUTH 49° 25' 55" EAST, 395.00 FEET; 2. SOUTH 49° 27' 22" EAST, 349.45 FEET; THENCE, SOUTH 49° 27' 22" EAST, 450.00 FEET ALONG THE SOUTHWEST LINE OF CERTAIN LANDS OF RICHARD M. SIBALSKI AND JANE F. SIBALSKI, DEED BOOK 772/PAGE 4, TO A POINT ON THE WEST BANK OF THE WEST BRANCH OF THE AUSABLE RIVER, SAID COURSE PASSING THROUGH A 1/2 INCH IRON PIPE LINE MARKER AT A DISTANCE OF 440.00 FEET; THENCE, SOUTHERLY 130 FEET MORE OR LESS ALONG THE WEST BANK OF THE WEST BRANCH OF THE AUSABLE RIVER ON THE FOLLOWING THREE (3) COURSES TO A POINT AT THE SOUTHERLY CORNER: 1. SOUTH 29° 37' 10" WEST, 32.66 FEET TO A POINT; 2. SOUTH 32° 53' 59" EAST, 40.69 FEET TO A POINT; 3. SOUTH 55° 14' 56" WEST, 65.59 FEET TO A POINT; THENCE, NORTH 48° 23' 02" WEST, 246.21 FEET ALONG THE SOUTHWESTERLY LINE TO 5/8 INCH IRON ROD WITH CAP, SAID COURSE PASSING THROUGH A 5/8 INCH IRON ROD LINE MARKER AT A DISTANCE OF 51.00 FEET; THENCE, NORTH 56° 25' 45" WEST, 95.11 FEET ALONG THE SOUTHWESTERLY LINE TO 5/8 INCH IRON ROD WITH CAP; THENCE, NORTH 09° 51' 36" WEST, 179.07 FEET ALONG THE WEST LINE TO THE POINT-OF-BEGINNING. TOGETHER WITH A RIGHT OF WAY FOR ALL NORMAL PURPOSES OF INGRESS AND EGRESS OVER THE EXISTING DRIVE FROM THE SOUTHWEST LINE OF THE PREMISES SOUTHWEST AND NORTHWEST TO THE NEW YORK STATE ROUTE 86 AND ALSO THE RIGHT TO MAINTAIN, REPAIR AND REPLACE THE EXISTING UTILITY LINES PROVIDING SERVICE TO THE PREMISES HEREINAbove DESCRIBED IN THEIR PRESENT LOCATIONS.

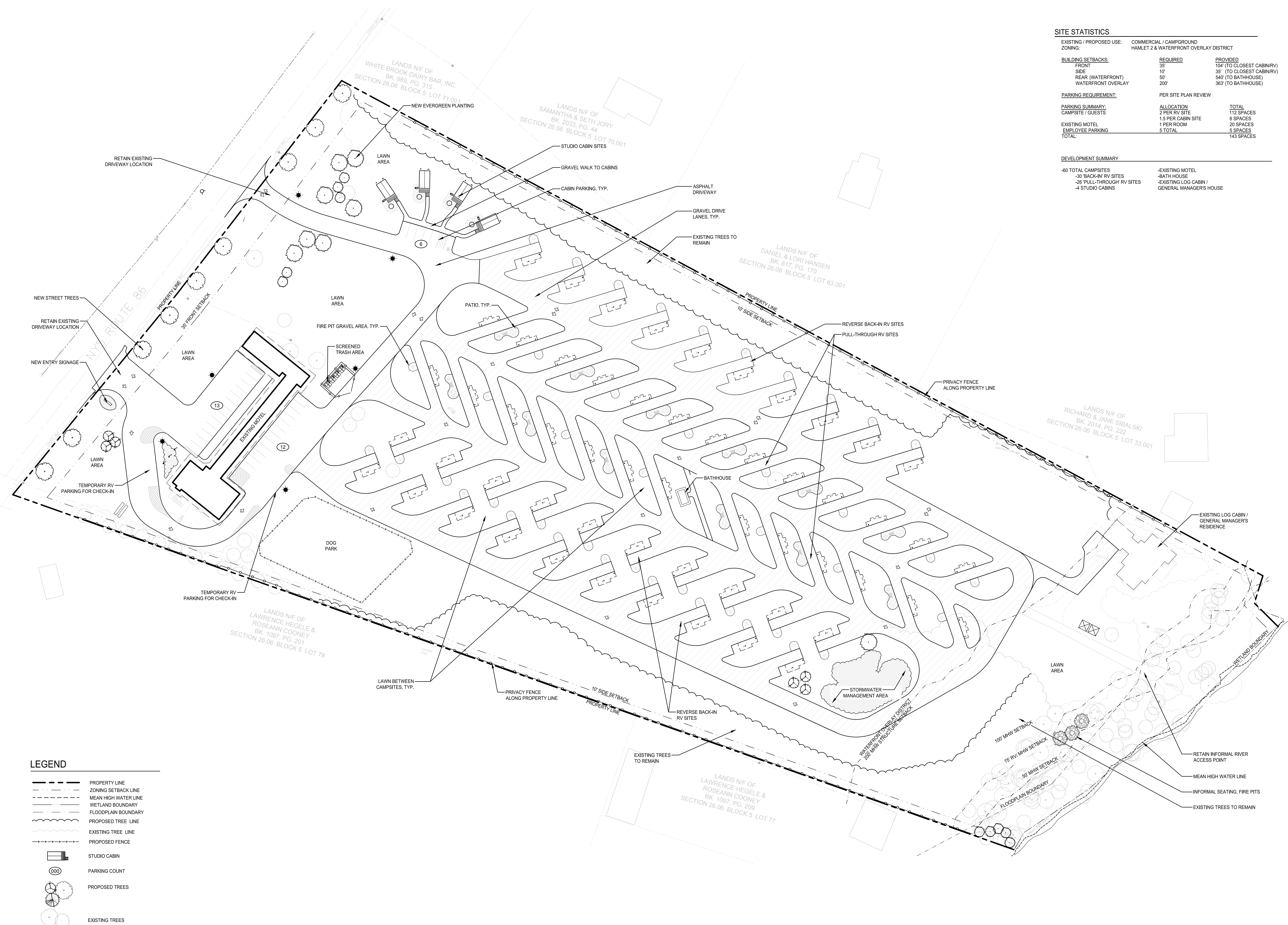
LEGAL DESCRIPTION FROM CERTIFICATE OF TITLE INSURANCE - TITLE NO. FT21-03593-NCS SCHEDULE A:

5644 NYS ROUTE 86 (CONTINUED)

PARCEL #2

ALL THAT TRACT, PART, PIECE OR PARCEL OF LAND, SITUATE IN LOTS 33 AND 34, MALLORY'S GRANT, TOWN OF WILMINGTON, COUNTY OF ESSEX, STATE OF NEW YORK AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS: BEGINNING AT A 1 INCH IRON PIPE, AND THE MOST WESTERLY CORNER OF A PARCEL OF LAND BELONGING TO RICHARD D. RALTON AND MARIES L. RALTON, BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 810 AT PAGE 339, AND RUNNING THENCE S 48° 57' 21" E, ALONG THE SOUTHWESTERLY LINE OF RALTON (L810-P339) PASSING THROUGH AN IRON ROD AT 99.94 FEET, AND A 1/2 INCH IRON PIPE AT 200.24 FEET, A TOTAL DISTANCE OF 614.50 FEET TO A 1/2 INCH IRON PIPE, AND TO THE TRUE POINT OF BEGINNING OF THE 3.0 ACRE PARCEL HEREIN BEING DESCRIBED: THENCE CONTINUING ALONG SAID SOUTHWESTERLY LINE, S 48° 57' 21" E, PASSING THROUGH A 1/2 INCH IRON PIPE AT 595.91 FEET, A TOTAL DISTANCE OF 629 FEET MORE OR LESS, TO A POINT ON THE NORTHERLY BANK OF THE AUSABLE RIVER, AND TO THE MOST EASTERLY CORNER OF THE 3.0 ACRE PARCEL HEREIN BEING DESCRIBED; THENCE TURNING AND RUNNING SOUTHWESTERLY AND UPSTREAM, ALONG THE BANK OF THE AUSABLE RIVER, A DISTANCE OF 230 FEET, MORE OR LESS, TO THE MOST EASTERLY CORNER OF A PARCEL OF LAND BELONGING (N/F) TO FLORENCE WILLIAMS; BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 456 OF DEEDS AT PAGE 19; THENCE TURNING AND RUNNING N 53° 11'24" W, (PASSING THROUGH A 3/4 INCH IRON PIPE AT 20 FEET, MORE OR LESS), ALONG THE NORTHEASTERLY LINE OF WILLIAMS (L456-P19), A DISTANCE OF 415 FEET, MORE OR LESS, TO THE MOST EASTERLY CORNER OF A PARCEL OF LAND BELONGING (N/F) TO BETTY JANE SMART, BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 725 OF DEEDS AT PAGE 176; RUNNING THENCE N 53° 11' 24" W, ALONG THE NORTHEASTERLY LINE OF SMART (L725-P176), (PASSING THROUGH A 3/4 INCH IRON ROD AT 99.47 FEET), A DISTANCE OF 189.6 FEET, TO A 1/2 INCH IRON PIPE, AND TO THE MOST WESTERLY CORNER OF THE 3.0 ACRE PARCEL HEREIN BEING DESCRIBED; THENCE TURNING AND RUNNING N 61° 14' 53" E, THROUGH LANDS BELONGING TO THE HIGH VALLEY MOTEL CORPORATION, BY VIRTUE OF A DEED RECORDED IN THE OFFICE OF THE ESSEX COUNTY CLERK IN BOOK 940 OF DEEDS AT PAGE 142, A DISTANCE OF 255.24 FEET, TO THE POINT OR PLACE OF BEGINNING. THE PARTY OF THE FIRST PART HEREBY RESERVES UNTO ITSELF, ITS SUCCESSORS AND ASSIGNS, AN EASEMENT TEN FEET IN WIDTH FOR PEDESTRIAN ACCESS TO THE SHORE OF THE AUSABLE RIVER. THE SAID RIGHT OF WAY SHALL BE BOUNDED ON THE SOUTHWEST BY THE SOUTHWEST BOUNDARY OF THE PARCEL HEREBY CONVEYED, ON THE NORTHEAST BY A LINE PARALLEL TO AND TEN FEET IN DISTANCE FROM THE SOUTHWEST BOUNDARY OF SAID PARCEL HEREBY CONVEYED AND SHALL RUN GENERALLY SOUTHEAST FROM THE COMMON BOUNDARY BETWEEN THE PARCEL HEREBY CONVEYED AND THE PARCEL RETAINED, A DISTANCE OF APPROXIMATELY 585 FEET TO A POINT TWENTY FEET DISTANT FROM THE SHORE OF AUSABLE RIVER. THE PARTY OF THE FIRST PART ALSO RESENTS FOR ITSELF, ITS SUCCESSORS AND ASSIGNS AN EASEMENT FOR WALKING, SWIMMING, BOATING AND FISHING 20 FEET WIDE BY 20 FEET DEEP ALONG THE SHORE OF THE AUSABLE RIVER AT THE TERMINUS OF THE ABOVE DESCRIBED 10 FOOT PEDESTRIAN EASEMENT THE EASEMENTS SHALL RUN WITH THE LAND FOR THE BENEFIT OF THE PROPERLY RETAINED BY THE PARTY OF THE FIRST PART, ITS SUCCESSORS AND ASSIGNS AND THE GUESTS AND INVITES OR ANY OWNERS, INCLUDING MOTEL GUESTS.

Prepared By: SARAH E. BEAVER
File Name: C:\Projects\2024\02\21\10\LA_Group_Planet_Survey\2024\02\21\10\LA_Group_Planet_Survey.dwg
Date: 02/20/2024



LEGEND	
	PROPERTY LINE
	ZONING SETBACK LINE
	MEAN HIGH WATER LINE
	WETLAND BOUNDARY
	FLOODPLAIN BOUNDARY
	PROPOSED TREE LINE
	EXISTING TREE LINE
	PROPOSED FENCE
	STUDIO CABIN
	PARKING COUNT
	PROPOSED TREES
	EXISTING TREES

SITE STATISTICS		
EXISTING / PROPOSED USE: ZONING:	COMMERCIAL / CAMPGROUND HAMLET 2 & WATERFRONT OVERLAY DISTRICT	
<u>BUILDING SETBACKS:</u>	<u>REQUIRED</u>	<u>PROVIDED</u>
FRONT	35'	104' (TO CLOSEST CABIN/RV)
SIDE	10'	35' (TO CLOSEST CABIN/RV)
REAR (WATERFRONT)	50'	540' (TO BATHHOUSE)
WATERFRONT OVERLAY	200'	363' (TO BATHHOUSE)
<u>PARKING REQUIREMENT:</u>	PER SITE PLAN REVIEW	
<u>PARKING SUMMARY:</u>	<u>ALLOCATION</u>	<u>TOTAL</u>
CAMPSITE / GUESTS	2 PER RV SITE	112 SPACES
EXISTING MOTEL	1.5 PER CABIN SITE	6 SPACES
EMPLOYEE PARKING	1 PER ROOM	20 SPACES
TOTAL:	5 TOTAL	143 SPACES

DEVELOPMENT SUMMARY	
-60 TOTAL CAMPSITES	-EXISTING MOTEL
-30 BACK-IN RV SITES	-BATH HOUSE
-26 PULL-THROUGH RV SITES	-EXISTING LOG CABIN /
-4 STUDIO CABINS	GENERAL MANAGER'S HOUSE

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Whiteface Mtn KOA
Holiday - Riverside

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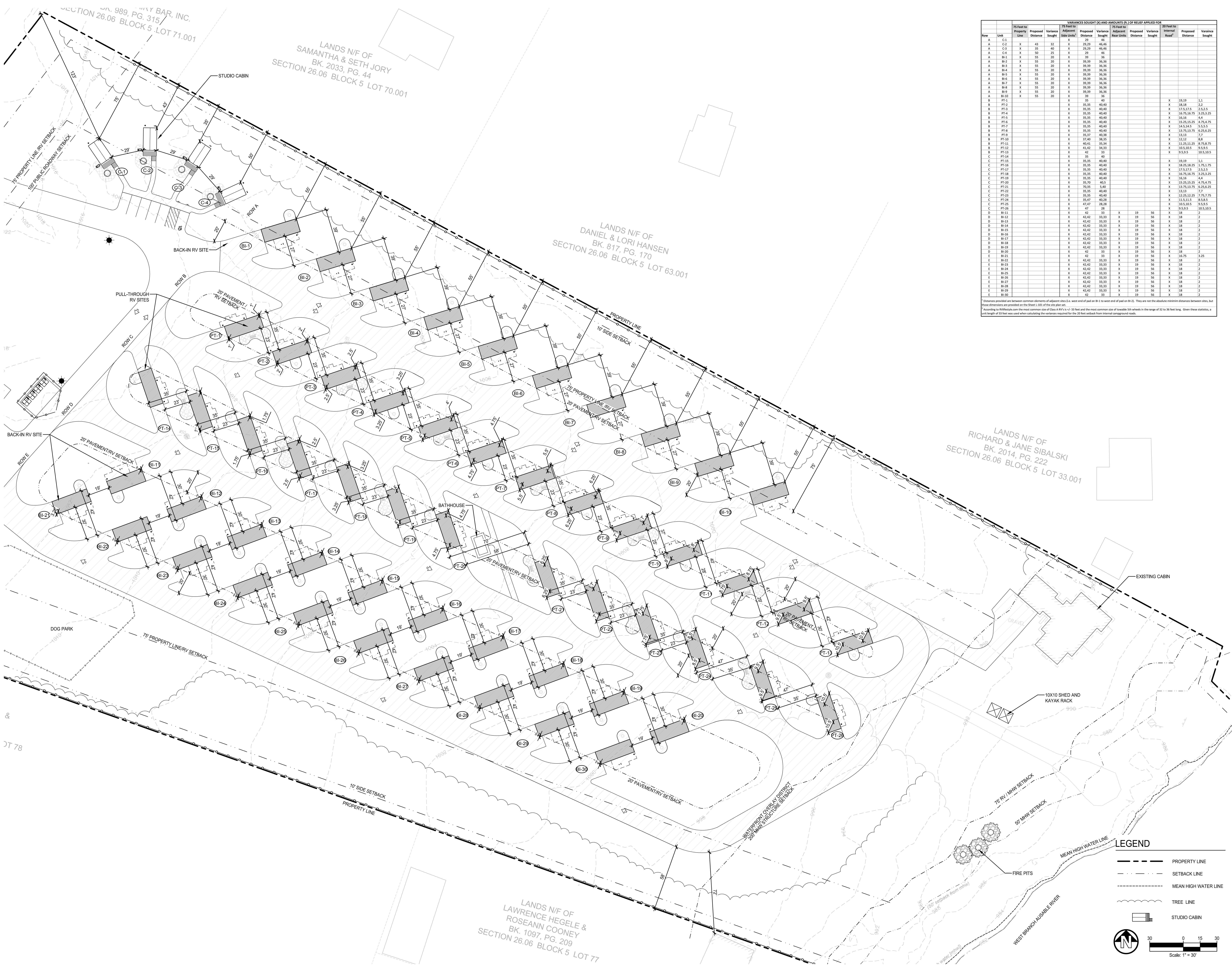
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Drawn:	KAM
Date:	02/20/2024
Scale:	1"=40'

Drawing Title

OVERALL SITE
PLAN

Drawing No.

L-100



VARIANCES SOUGHT (X) AND AMOUNTS (L) OF RELIEF APPLIED FOR												
Row	Unit	75 Feet to			75 Feet to			75 Feet to			Variance Sought	
		Property Line	Proposed Distance	Variance Sought	Adjacent Side Line	Proposed Distance	Variance Sought	Adjacent Rear Lines	Proposed Distance	Variance Sought		
A	C-1	X	43	32	X	29,29	46,46					
A	C-2	X	35	40	X	29,29	46,46					
A	C-3	X	50	25	X	29	46					
A	B-1	X	55	20	X	39	36					
A	B-2	X	55	20	X	39,39	36,36					
A	B-3	X	55	20	X	39,39	36,36					
A	B-4	X	55	20	X	39,39	36,36					
A	B-5	X	55	20	X	39,39	36,36					
A	B-6	X	55	20	X	39,39	36,36					
A	B-7	X	55	20	X	39,39	36,36					
A	B-8	X	55	20	X	39,39	36,36					
A	B-9	X	55	20	X	39,39	36,36					
A	B-10	X	55	20	X	39	36					
B	PT-1				X	35	40		X	19,19	1,1	
B	PT-2				X	35,35	40,40		X	18,18	2,2	
B	PT-3				X	35,35	40,40		X	17,17.5	2.5,2.5	
B	PT-4				X	35,35	40,40		X	16,16.75	3.25,3.25	
B	PT-5				X	35,35	40,40		X	16,16	4,4	
B	PT-6				X	35,35	40,40		X	15,15.125	4.75,4.75	
B	PT-7				X	35,35	40,40		X	14,14.5	5.5,5.5	
B	PT-8				X	35,37	40,38		X	13,13.75	6.25,6.25	
B	PT-9				X	37,40	38,35		X	13,13	7,7	
B	PT-10				X	40,40	35,34		X	12,12	8,8	
B	PT-11				X	41,42	34,33		X	11,11.125	8.75,8.75	
B	PT-12				X	42,42	34,33		X	10,10.5	9.5,9.5	
B	PT-13				X	42	33		X	9,9.5	10.5,10.5	
C	PT-14				X	35	40					
C	PT-15				X	35,35	40,40		X	19,19	1,1	
C	PT-16				X	35,35	40,40		X	18,18.125	1.75,1.75	
C	PT-17				X	35,35	40,40		X	17,17.5	2.5,2.5	
C	PT-18				X	35,35	40,40		X	16,16.75	3.25,3.25	
C	PT-19				X	35,35	40,40		X	16,16	4,4	
C	PT-20				X	35,35	40,40		X	15,15.125	4.75,4.75	
C	PT-21				X	35,35	40,40		X	13,13.75	6.25,6.25	
C	PT-22				X	35,35	40,40		X	13,13	7,7	
C	PT-23				X	35,35	40,40		X	12,12.125	7.75,7.75	
C	PT-24				X	35,47	40,28		X	11,11.15	8.5,8.5	
C	PT-25				X	47,47	38,35		X	10,10.5	9.5,9.5	
C	PT-26				X	47	28		X	9,9.5	10.5,10.5	
D	B-11				X	42	33	X	19	56	18	2
D	B-12				X	42,42	33,33	X	19	56	18	2
D	B-13				X	42,42	33,33	X	19	56	18	2
D	B-14				X	42,42	33,33	X	19	56	18	2
D	B-15				X	42,42	33,33	X	19	56	18	2
D	B-16				X	42,42	33,33	X	19	56	18	2
D	B-17				X	42,42	33,33	X	19	56	18	2
D	B-18				X	42,42	33,33	X	19	56	18	2
D	B-19				X	42,42	33,33	X	19	56	18	2
D	B-20				X	42	33	X	19	56	18	2
E	B-21				X	42	33	X	19	56	16.75	3.25
E	B-22				X	42,42	33,33	X	19	56	18	2
E	B-23				X	42,42	33,33	X	19	56	18	2
E	B-24				X	42,42	33,33	X	19	56	18	2
E	B-25				X	42,42	33,33	X	19	56	18	2
E	B-26				X	42,42	33,33	X	19	56	18	2
E	B-27				X	42,42	33,33	X	19	56	18	2
E	B-28				X	42,42	33,33	X	19	56	18	2
E	B-29				X	42,42	33,33	X	19	56	18	2
E	B-30				X	42	33	X	19	56	18	2

Footnote: "X" means between corner elements of adjacent lots; "L" is a word and number (e.g. 29 and 46) and "of" and "to" (e.g. 29 to 46). They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of C and D-1 is 25 feet and the most common corner of D and E is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of D and E is 25 feet and the most common corner of E and F is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of E and F is 25 feet and the most common corner of F and G is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of F and G is 25 feet and the most common corner of G and H is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of G and H is 25 feet and the most common corner of H and I is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of H and I is 25 feet and the most common corner of I and J is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of I and J is 25 feet and the most common corner of J and K is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of J and K is 25 feet and the most common corner of K and L is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of K and L is 25 feet and the most common corner of L and M is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of L and M is 25 feet and the most common corner of M and N is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of M and N is 25 feet and the most common corner of N and O is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of N and O is 25 feet and the most common corner of O and P is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of O and P is 25 feet and the most common corner of P and Q is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of P and Q is 25 feet and the most common corner of Q and R is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of Q and R is 25 feet and the most common corner of R and S is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of R and S is 25 feet and the most common corner of S and T is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of S and T is 25 feet and the most common corner of T and U is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of T and U is 25 feet and the most common corner of U and V is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of U and V is 25 feet and the most common corner of V and W is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of V and W is 25 feet and the most common corner of W and X is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of W and X is 25 feet and the most common corner of X and Y is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of X and Y is 25 feet and the most common corner of Y and Z is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of Y and Z is 25 feet and the most common corner of Z and AA is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of Z and AA is 25 feet and the most common corner of AA and AB is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AA and AB is 25 feet and the most common corner of AB and AC is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AB and AC is 25 feet and the most common corner of AC and AD is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AC and AD is 25 feet and the most common corner of AD and AE is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AD and AE is 25 feet and the most common corner of AE and AF is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AE and AF is 25 feet and the most common corner of AF and AG is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AF and AG is 25 feet and the most common corner of AG and AH is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AG and AH is 25 feet and the most common corner of AH and AI is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AH and AI is 25 feet and the most common corner of AI and AJ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AI and AJ is 25 feet and the most common corner of AJ and AK is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AJ and AK is 25 feet and the most common corner of AK and AL is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AK and AL is 25 feet and the most common corner of AL and AM is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AL and AM is 25 feet and the most common corner of AM and AN is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AM and AN is 25 feet and the most common corner of AN and AO is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AN and AO is 25 feet and the most common corner of AO and AP is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AP and AO is 25 feet and the most common corner of AP and AQ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AQ and AP is 25 feet and the most common corner of AQ and AR is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AR and AQ is 25 feet and the most common corner of AR and AS is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AS and AR is 25 feet and the most common corner of AS and AT is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AT and AS is 25 feet and the most common corner of AT and AU is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AU and AT is 25 feet and the most common corner of AU and AV is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AV and AU is 25 feet and the most common corner of AV and AW is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AW and AV is 25 feet and the most common corner of AW and AX is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AX and AW is 25 feet and the most common corner of AX and AY is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AY and AX is 25 feet and the most common corner of AY and AZ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of AZ and AY is 25 feet and the most common corner of AZ and BA is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BA and AZ is 25 feet and the most common corner of BA and BB is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BB and BA is 25 feet and the most common corner of BB and BC is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BC and BB is 25 feet and the most common corner of BC and BD is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BD and BC is 25 feet and the most common corner of BD and BE is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BE and BD is 25 feet and the most common corner of BE and BF is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BF and BE is 25 feet and the most common corner of BF and BG is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BG and BF is 25 feet and the most common corner of BG and BH is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BH and BG is 25 feet and the most common corner of BH and BI is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BI and BH is 25 feet and the most common corner of BI and BJ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BJ and BI is 25 feet and the most common corner of BJ and BK is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BK and BJ is 25 feet and the most common corner of BK and BL is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BL and BK is 25 feet and the most common corner of BL and BM is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BM and BL is 25 feet and the most common corner of BM and BN is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BN and BM is 25 feet and the most common corner of BN and BO is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BO and BN is 25 feet and the most common corner of BO and BP is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BP and BO is 25 feet and the most common corner of BP and BQ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BQ and BP is 25 feet and the most common corner of BQ and BR is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BR and BQ is 25 feet and the most common corner of BR and BS is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BS and BR is 25 feet and the most common corner of BS and BT is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BT and BS is 25 feet and the most common corner of BT and BU is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BU and BT is 25 feet and the most common corner of BU and BV is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BV and BU is 25 feet and the most common corner of BV and BW is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BW and BV is 25 feet and the most common corner of BW and BX is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BX and BW is 25 feet and the most common corner of BX and BY is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BY and BX is 25 feet and the most common corner of BY and BZ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of BZ and BY is 25 feet and the most common corner of BZ and CA is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CA and BZ is 25 feet and the most common corner of CA and CB is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CB and CA is 25 feet and the most common corner of CB and CC is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CC and CB is 25 feet and the most common corner of CC and CD is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CD and CC is 25 feet and the most common corner of CD and CE is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CE and CD is 25 feet and the most common corner of CE and CF is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CF and CE is 25 feet and the most common corner of CF and CG is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CG and CF is 25 feet and the most common corner of CG and CH is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CH and CG is 25 feet and the most common corner of CH and CI is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CI and CH is 25 feet and the most common corner of CI and CJ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CJ and CI is 25 feet and the most common corner of CJ and CK is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CK and CJ is 25 feet and the most common corner of CK and CL is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CL and CK is 25 feet and the most common corner of CL and CM is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CM and CL is 25 feet and the most common corner of CM and CN is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CN and CM is 25 feet and the most common corner of CN and CO is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CO and CN is 25 feet and the most common corner of CO and CP is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CP and CO is 25 feet and the most common corner of CP and CQ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CQ and CP is 25 feet and the most common corner of CQ and CR is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CR and CQ is 25 feet and the most common corner of CR and CS is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CS and CR is 25 feet and the most common corner of CS and CT is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CT and CS is 25 feet and the most common corner of CT and CU is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CU and CT is 25 feet and the most common corner of CU and CV is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CV and CU is 25 feet and the most common corner of CV and CW is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CW and CV is 25 feet and the most common corner of CW and CX is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CX and CW is 25 feet and the most common corner of CX and CY is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CY and CX is 25 feet and the most common corner of CY and CZ is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of CZ and CY is 25 feet and the most common corner of CZ and DA is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DA and CZ is 25 feet and the most common corner of DA and DB is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DB and DA is 25 feet and the most common corner of DB and DC is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DC and DB is 25 feet and the most common corner of DC and DD is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DD and DC is 25 feet and the most common corner of DD and DE is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DE and DD is 25 feet and the most common corner of DE and DF is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DF and DE is 25 feet and the most common corner of DF and DG is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DG and DF is 25 feet and the most common corner of DG and DH is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most common corner of DH and DG is 25 feet and the most common corner of DH and DI is 25 feet. They are used as the absolute minimum distance between lots, but those distances are provided on the Sheet L-1 of the plan set.

Footnote: "X" means the most

*Distances provided are between common elements of adjacent sites (i.e. west end of pad on BI-1 to west end of pad on BI-2). They are not the absolute minimum distances between sites, but these distances are provided as the sheet's 1:30 scale plan view.
According to NYSDEC, the most common size of Class A RV's is 10' x 13' 6" and the most common size of towable 5th wheels is in the range of 32' to 36' long. Given these statistics, a unit length of 30 feet was used when calculating the variance required for the 20 foot setback from internal campground roads.

Unauthorized alteration or addition to this document is a violation of Section 7209 of the New York State Education Law.

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Project Title:

Lake Placid /
Whiteface Mtn KOA
Holiday - Riverside

5644 NYS Route 86
Wilmington, NY 12997

Project No.: 2021110.02
Design: KAM/SFB
Drawn: KAM/SFB
Date: 02/20/2024
Scale: 1"=30'

Rev.	Description:	Date:

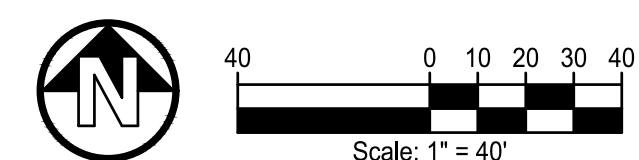
Drawing Title

VARIANCE
DIAGRAM

Drawing No.

L-101







Kampgrounds of America, Inc.
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5644 NYS Route 86
Wilmington, NY 12997

Project No.: 2021110.02

Design: MIT

Drawn: KAM Chk'd: MIT

Date: 02/24/2024 Scale: 1"=40'

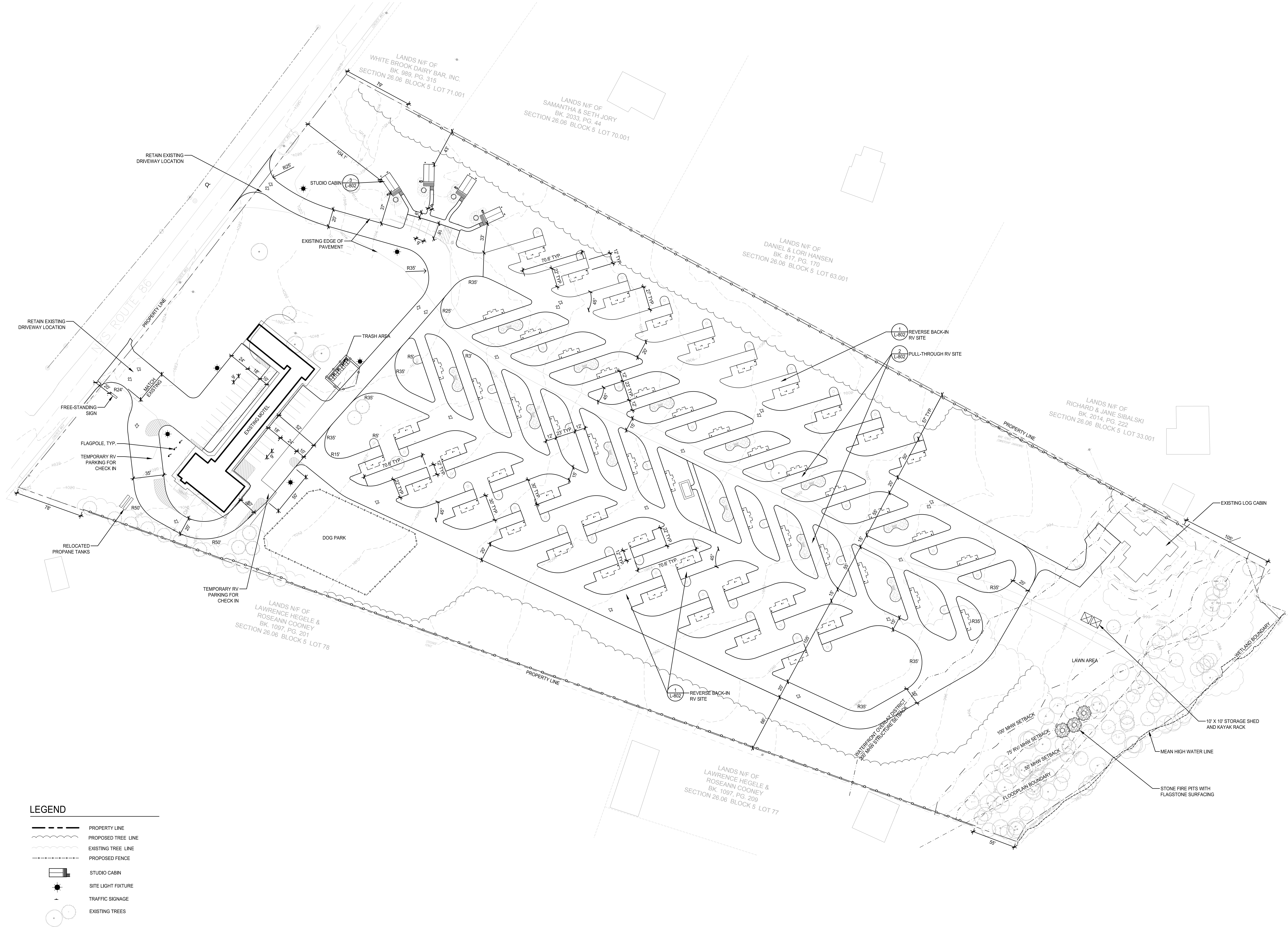
Rev.	Description:	Date:

Drawing Title

SITE LAYOUT PLAN

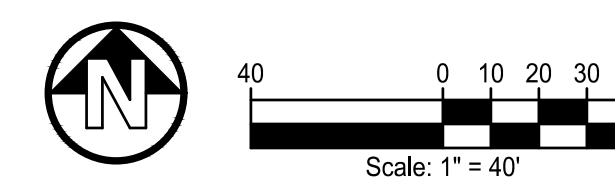
Drawing No.

L-400



LEGEND

- PROPERTY LINE
- PROPOSED TREE LINE
- EXISTING TREE LINE
- PROPOSED FENCE
- STUDIO CABIN
- SITE LIGHT FIXTURE
- TRAFFIC SIGNAGE
- EXISTING TREES





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Date: 02/20/2024 Scale: 1"=40'

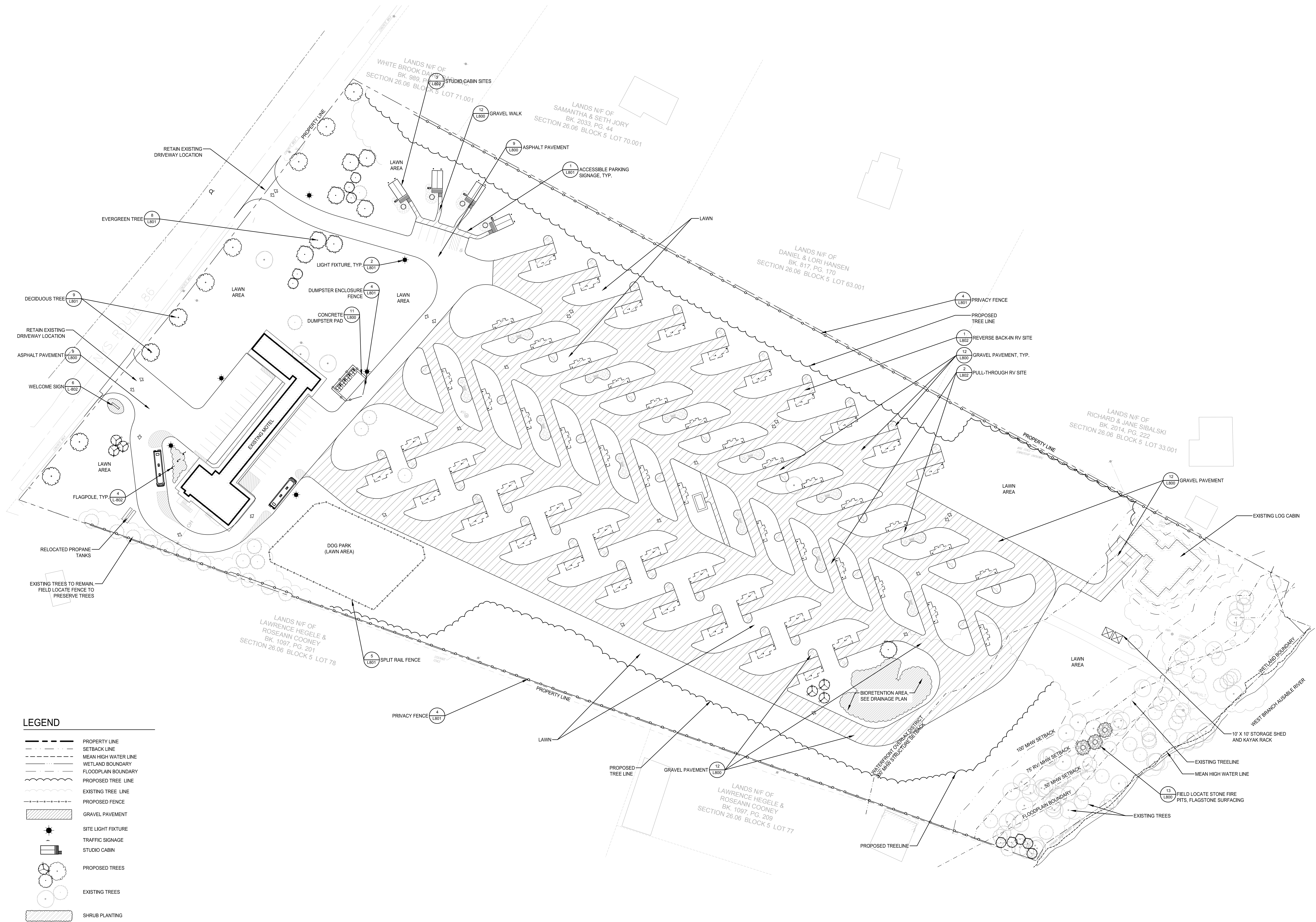
Rev.	Description:	Date:

Drawing Title

SITE MATERIALS
PLAN

Drawing No.

L-500



LEGEND

- PROPERTY LINE
- SETBACK LINE
- MEAN HIGH WATER LINE
- WETLAND BOUNDARY
- FLOODPLAIN BOUNDARY
- PROPOSED TREE LINE
- EXISTING TREE LINE
- PROPOSED FENCE
- GRAVEL PAVEMENT
- SITE LIGHT FIXTURE
- TRAFFIC SIGNAGE
- STUDIO CABIN
- PROPOSED TREES
- EXISTING TREES
- SHRUB PLANTING



Scale: 1" = 40'



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Project Title:

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5644 NYS Route 86
Wilmington, NY 12997

Project No: 2021110.02

Design: M/T

Drawn: RCS Chk'd: M/T

Date: 02/20/2024 Scale: 1"=40'

Rev.	Description	Date

Drawing Title

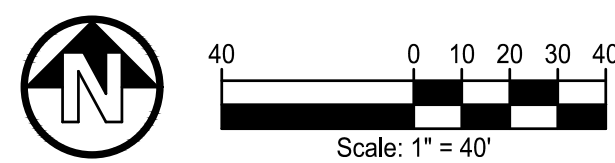
SITE GRADING AND
DRAINAGE PLAN

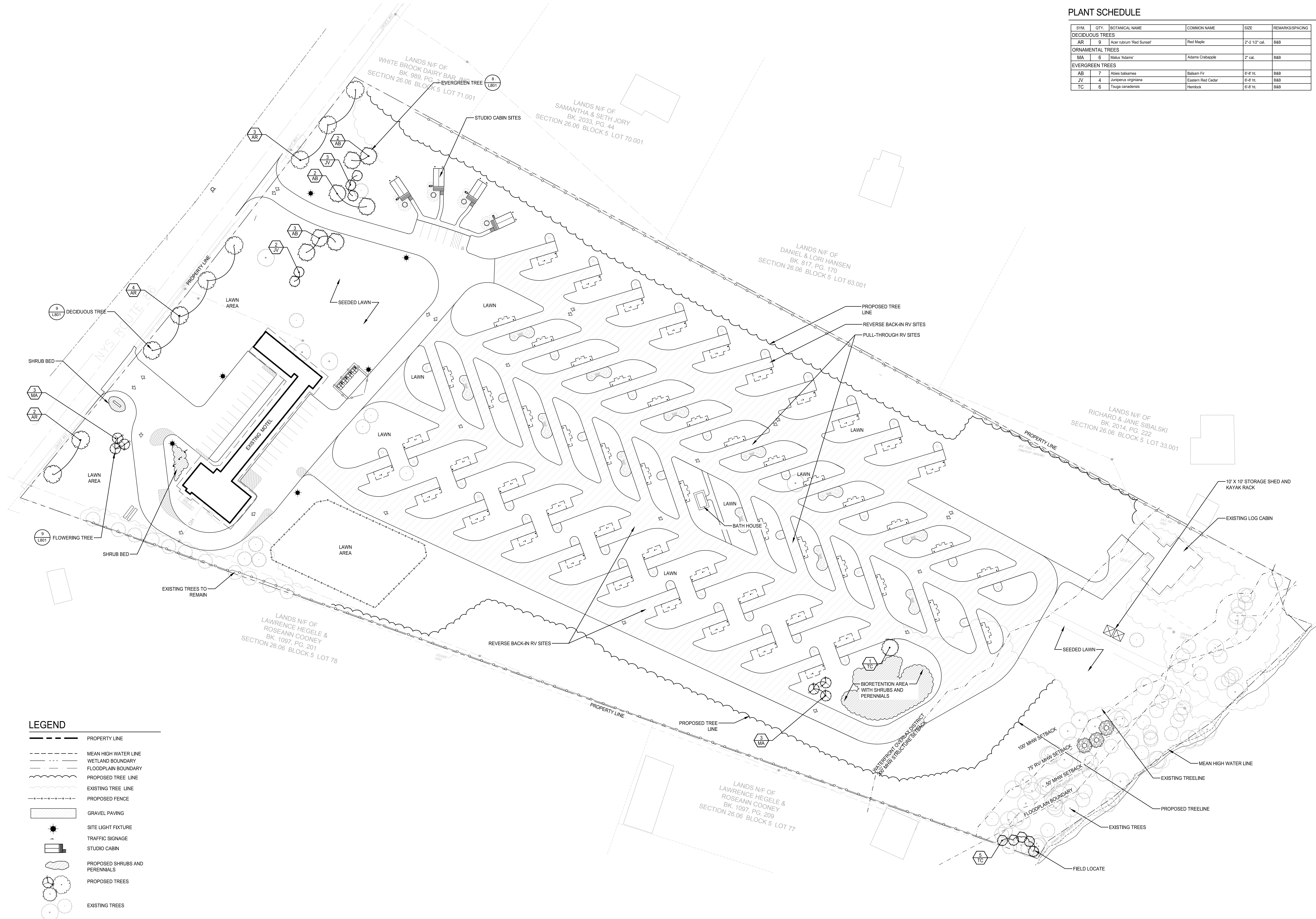
Drawing No.

L-600

LEGEND

- PROPERTY LINE
- MEAN HIGH WATER LINE
- WETLAND BOUNDARY
- PROPOSED STORM PIPE
- PROPOSED STORM STRUCTURE
- EROSION CONTROL MATTING
- PROPOSED TREE LINE
- EXISTING TREE LINE
- PROPOSED FENCE
- GRAVEL PAVING
- LIGHT FIXTURE
- TRAFFIC SIGNAGE
- STUDIO CABIN





PLANT SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS/SPACING
DECIDUOUS TREES					
AR	9	Acer rubrum 'Red Sunset'	Red Maple	2'-2 1/2' cal.	B&B
ORNAMENTAL TREES					
MA	6	Malus 'Adams'	Adams Crabapple	2' cal.	B&B
EVERGREEN TREES					
AB	7	Abies balsamea	Balsam Fir	6'-8' H.	B&B
JV	4	Juniperus virginiana	Eastern Red Cedar	6'-8' H.	B&B
TC	6	Taxus canadensis	Hemlock	6'-8' H.	B&B



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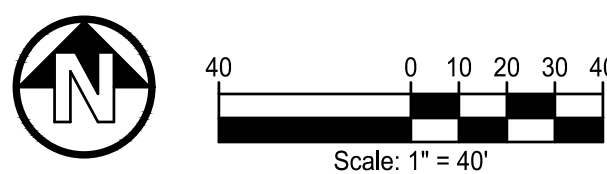
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LEGEND

- PROPERTY LINE
- MEAN HIGH WATER LINE
- WETLAND BOUNDARY
- FLOODPLAIN BOUNDARY
- PROPOSED TREE LINE
- EXISTING TREE LINE
- PROPOSED FENCE
- GRAVEL PAVING
- SITE LIGHT FIXTURE
- TRAFFIC SIGNAGE
- STUDIO CABIN
- PROPOSED SHRUBS AND PERENNIALS
- PROPOSED TREES
- EXISTING TREES

NOTE

ALL DISTURBED AREAS SHALL BE RESTORED WITH TOPSOIL AND SEEDED LAWN UNLESS OTHERWISE NOTED.



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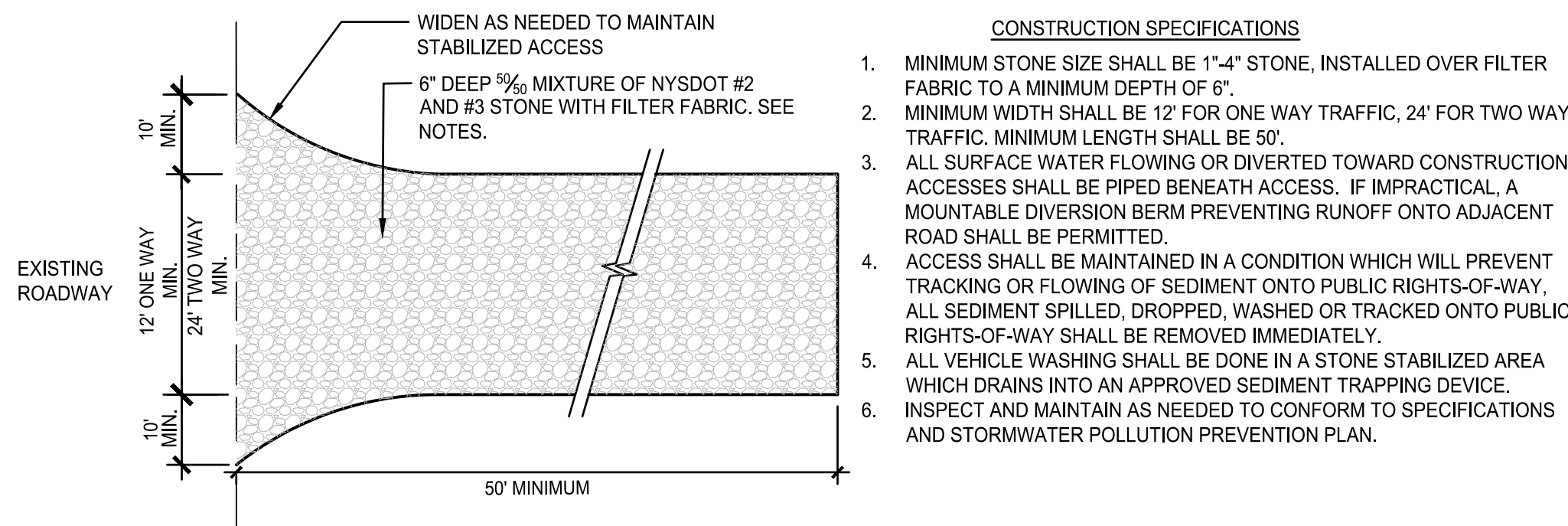
Rev.	Description:	Date:

Drawing Title

SITE PLANTING PLAN

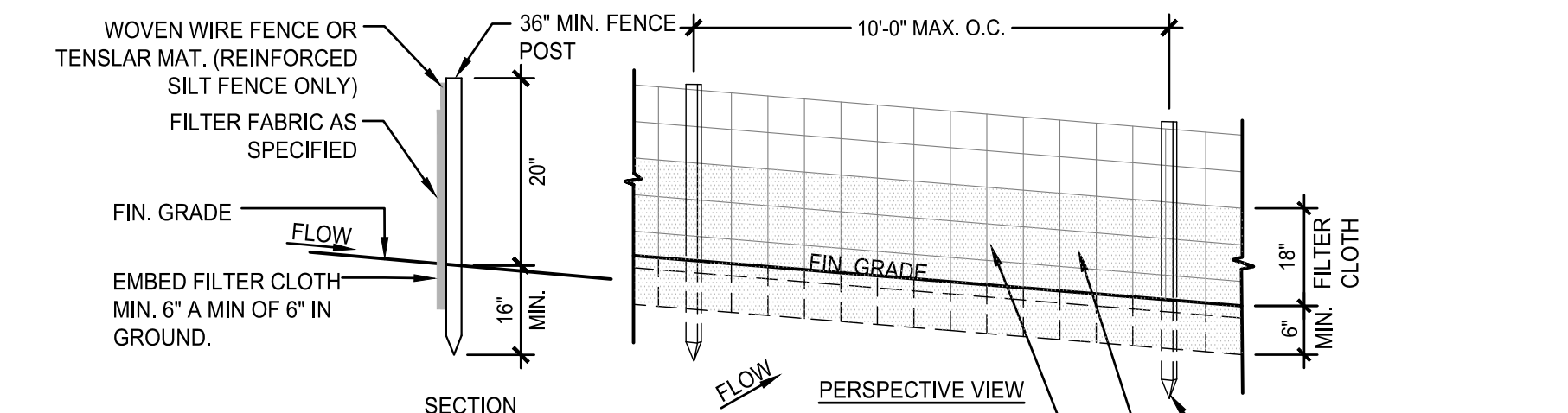
Drawing No.

L-700



1 STABILIZED CONSTRUCTION ACCESS

Scale: NTS

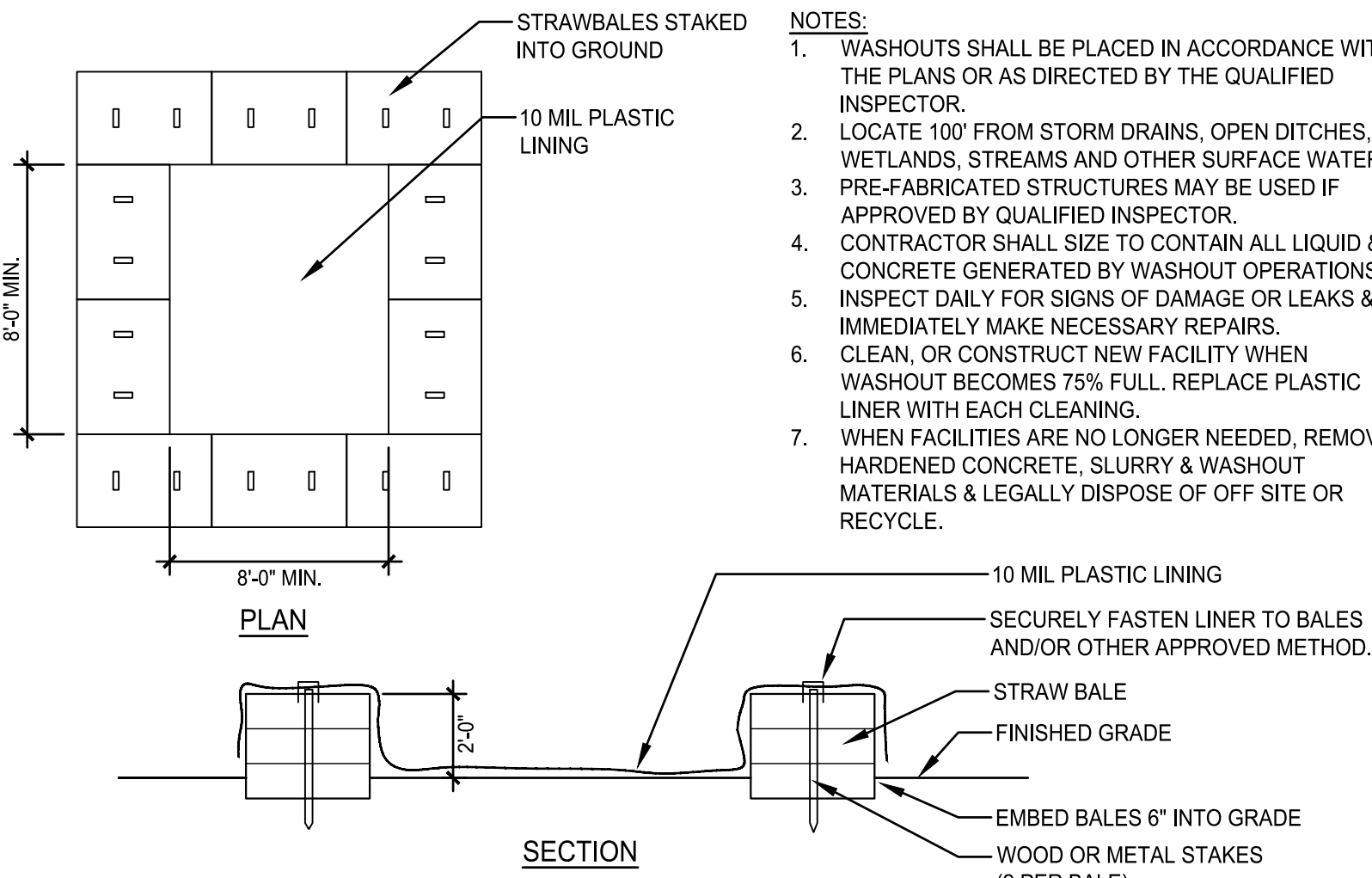


CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER 1\"/>

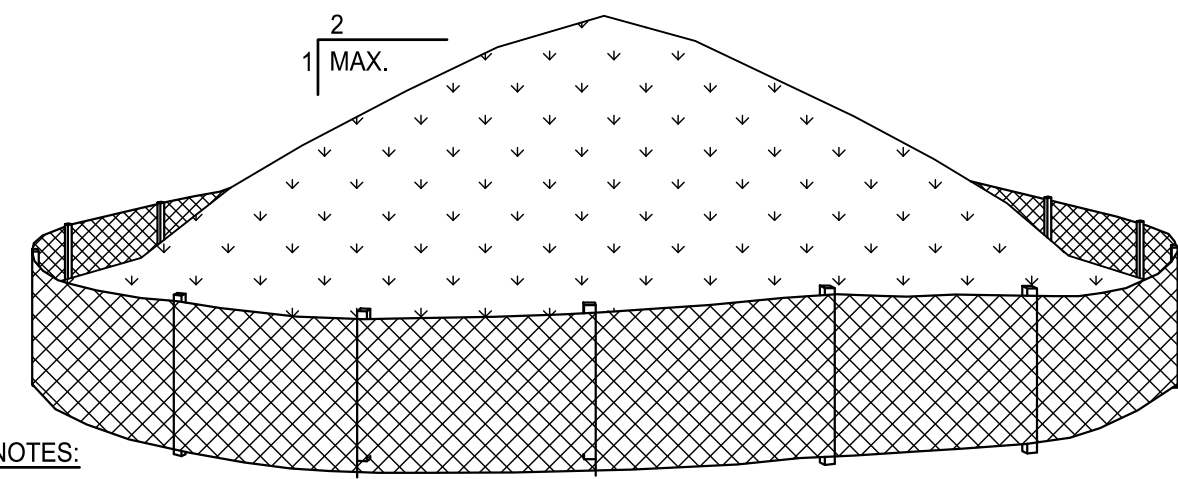
2 SILT FENCE

Scale: NTS



3 CONCRETE WASHOUT

Scale: NTS

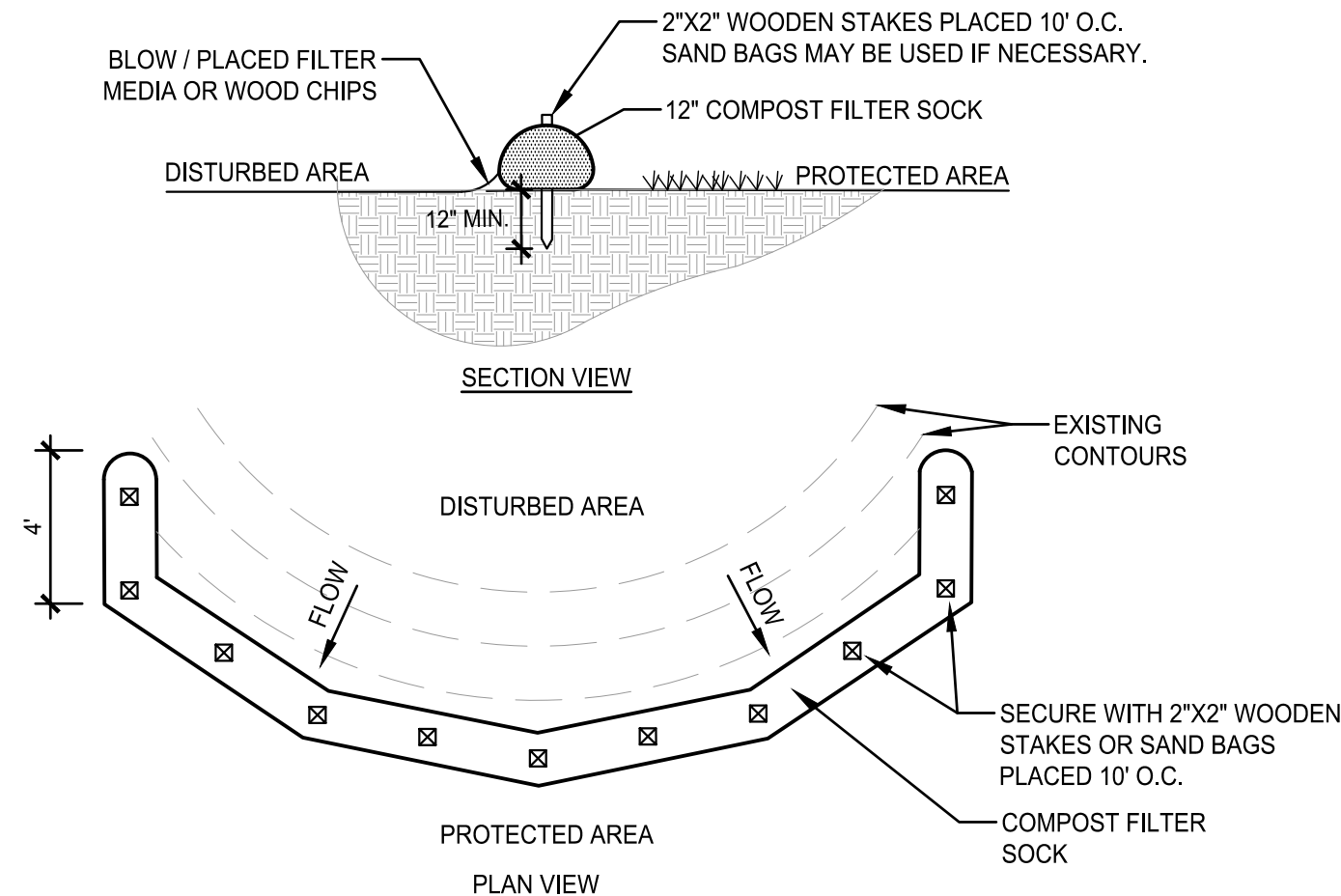


NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1. MAXIMUM HEIGHT SHALL BE 12 FEET.
- EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR COMPOST FILTER SOCK, IN ACCORDANCE WITH PROJECT DETAILS.
- IF DEEMED NECESSARY BY THE QUALIFIED INSPECTOR, A PERIMETER DIKE/SWALE SHALL BE LOCATED UP-SLOPE OF THE TOPSOIL STOCKPILE.

4 TEMPORARY STOCKPILE

Scale: NTS

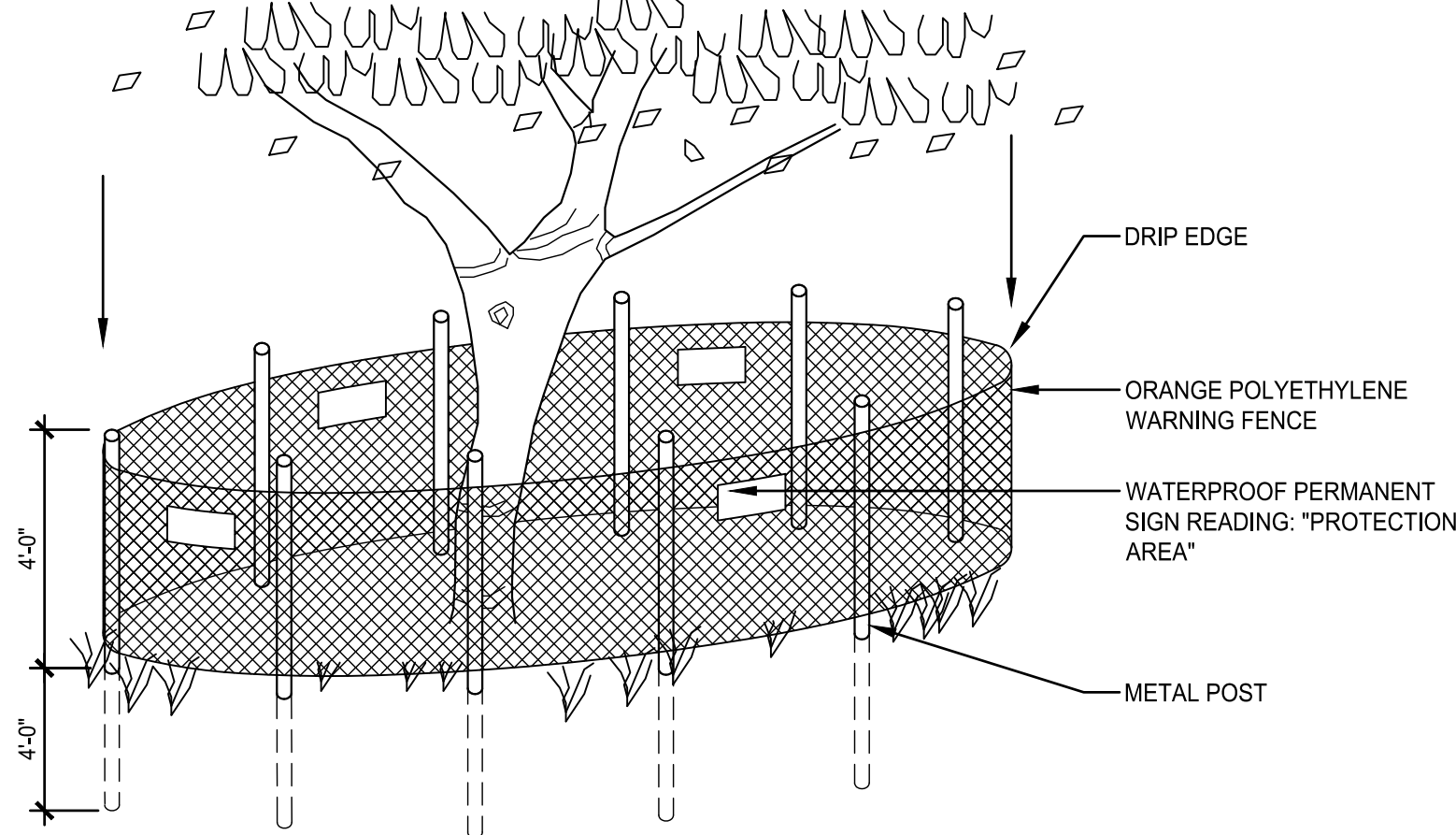


NOTES:

- FILTER SOCK SHALL BE 12\"/>

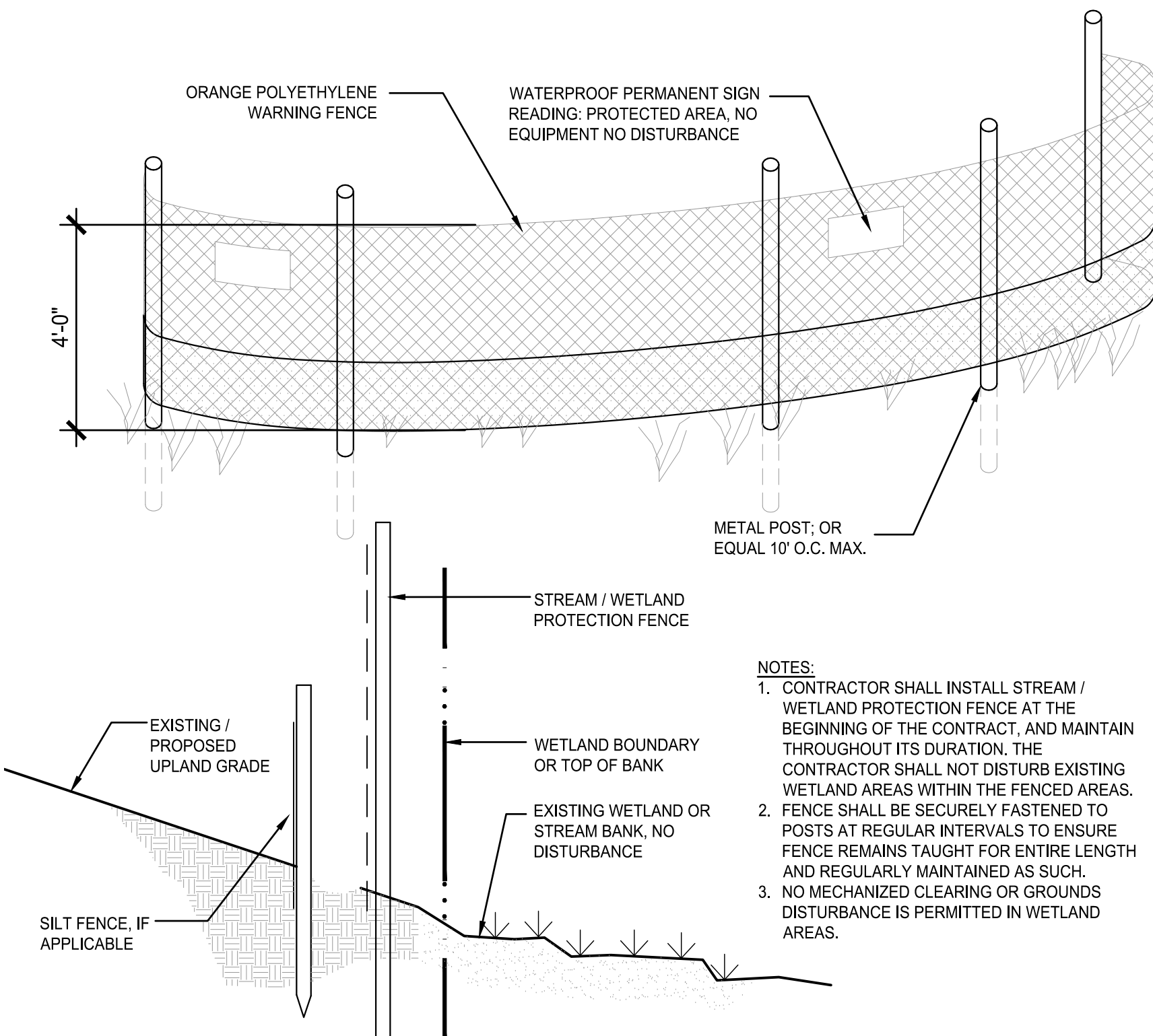
5 COMPOST FILTER SOCK

Scale: NTS



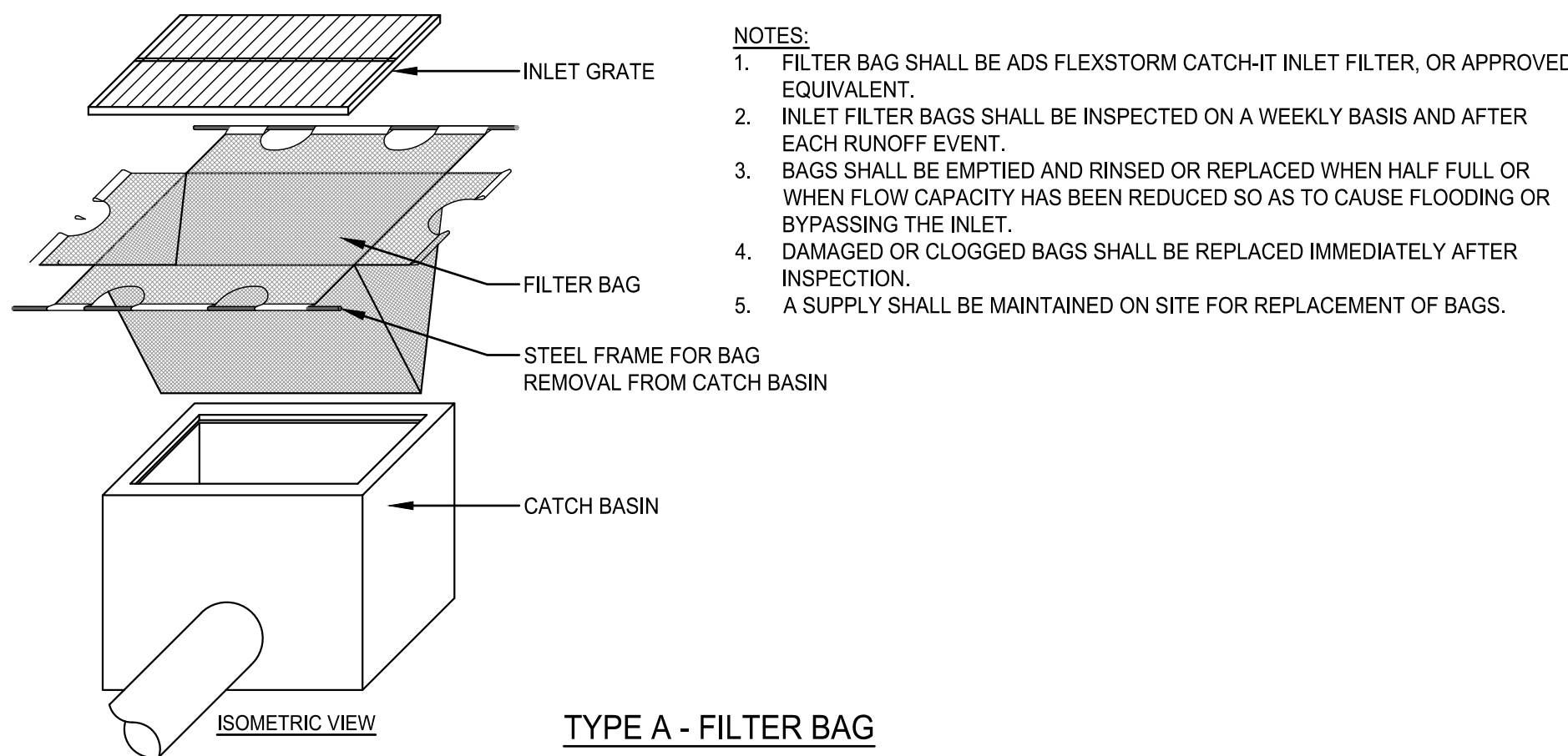
6 TREE PROTECTION FENCING

Scale: NTS

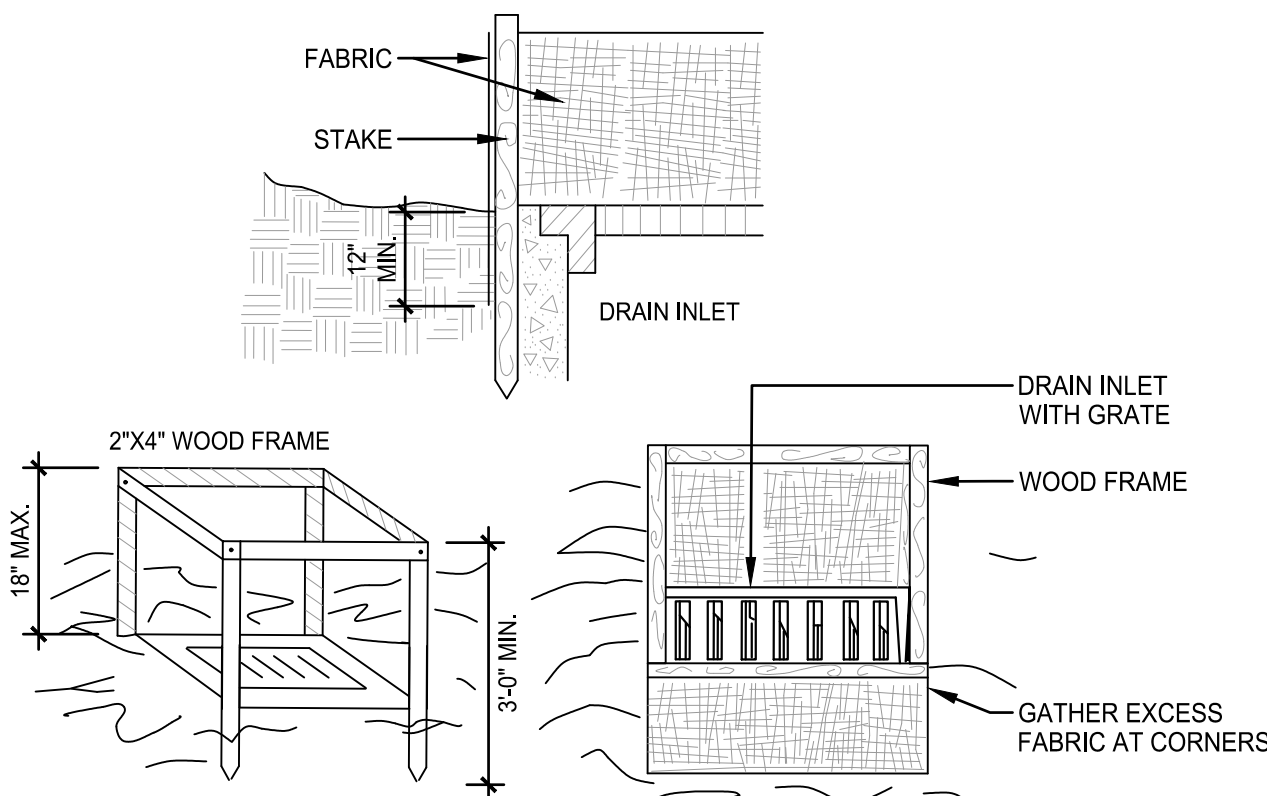


7 WETLAND PROTECTION FENCE

Scale: NTS



TYPE A - FILTER BAG



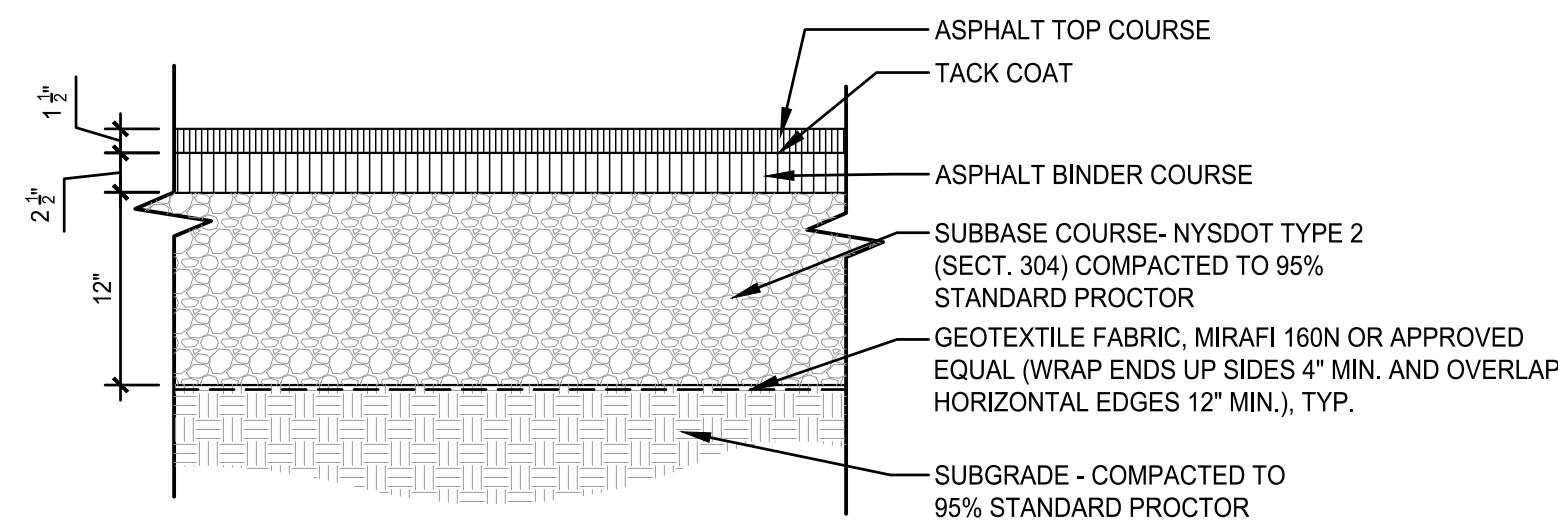
CONSTRUCTION SPECIFICATIONS:

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2\"/>

TYPE B - FABRIC PROTECTION

8 INLET PROTECTION

Scale: NTS

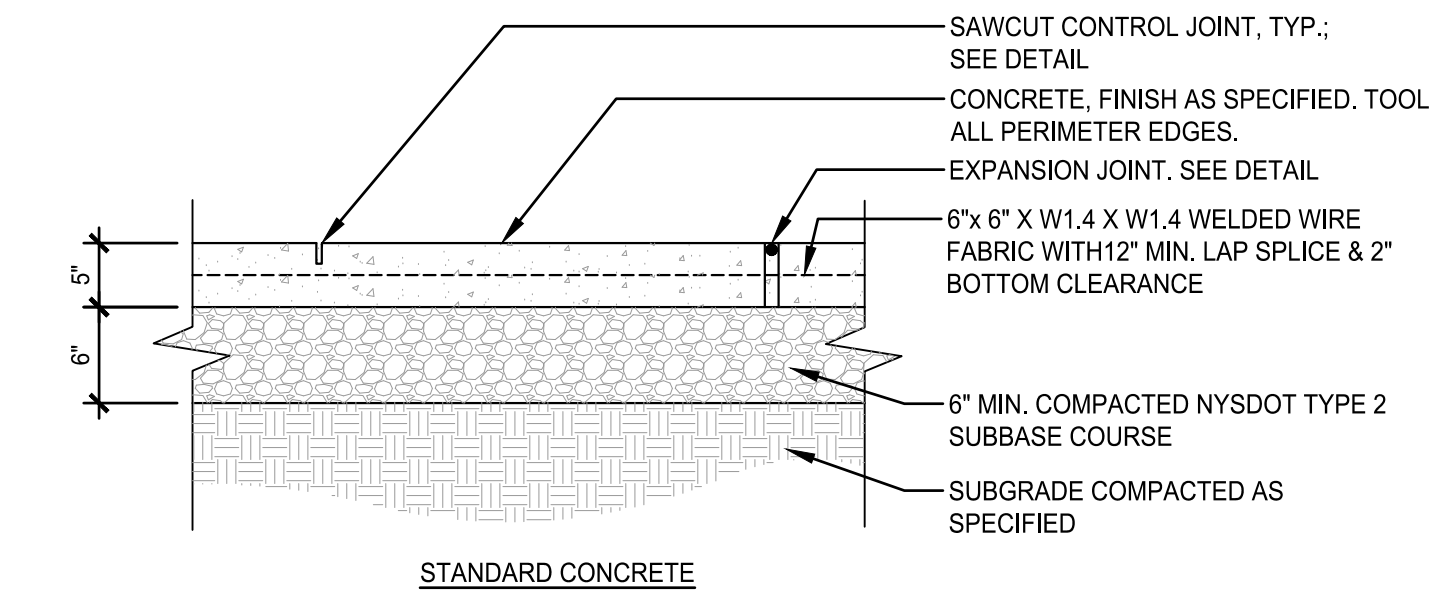


9 ASPHALT PAVEMENT

Scale: NTS

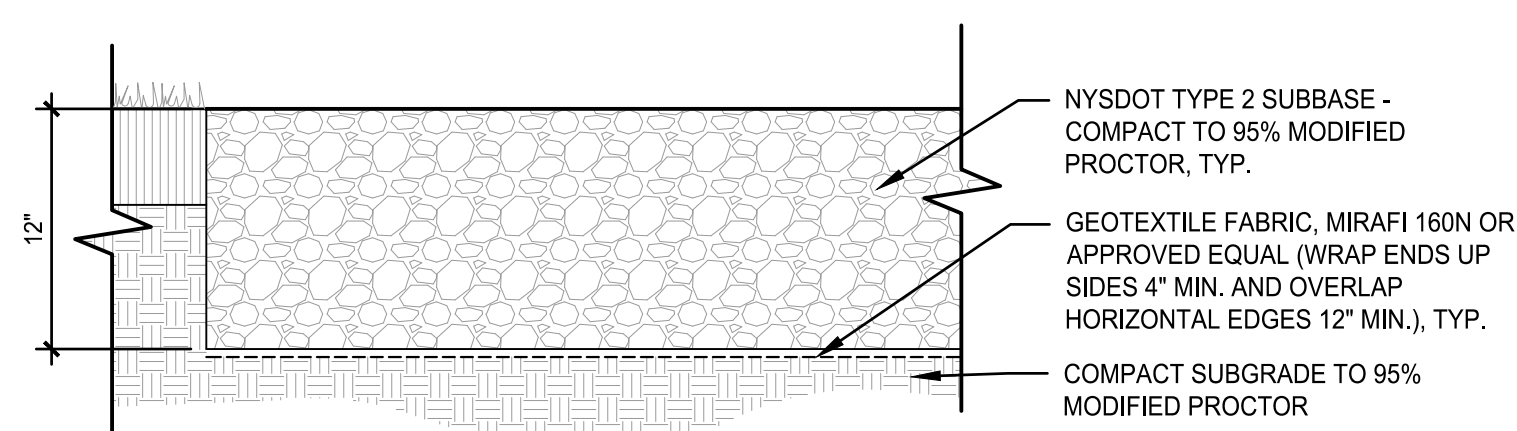
10 NOT USED

Scale: NTS



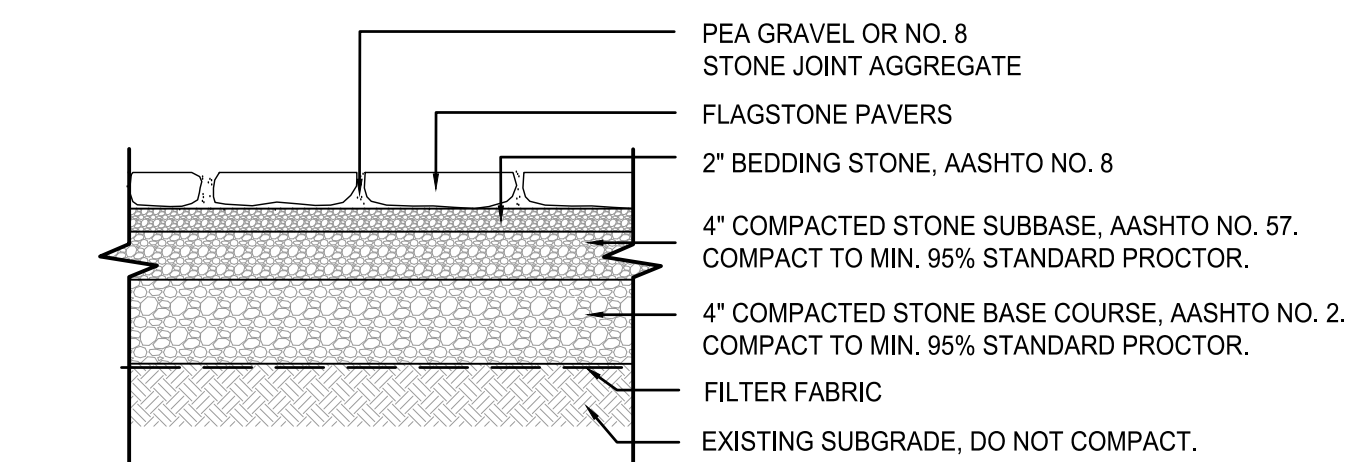
11 CONCRETE PAVEMENT

Scale: NTS



12 VEHICULAR GRAVEL PAVEMENT

Scale: NTS



13 FLAGSTONE

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PO Box 334
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Project Title:

**Lake Placid /
Whiteface Mtn KOA
Holiday - Riverside**

5644 NYS Route 86
Wilmington, NY 12997

Project No.: 2021110.02
Design: MIT
Drawn: KAM/SEB Ch'g'd: MIT
Date: 02/20/2022 Scale:

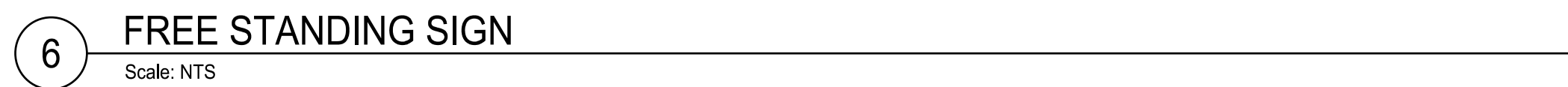
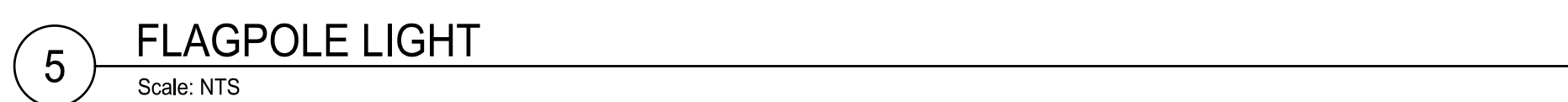
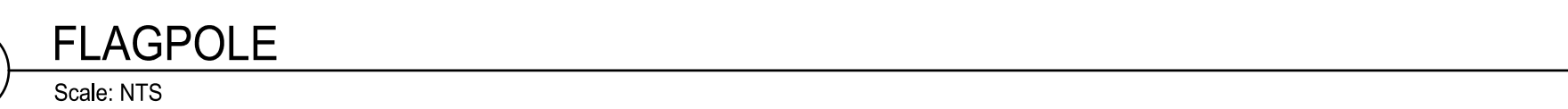
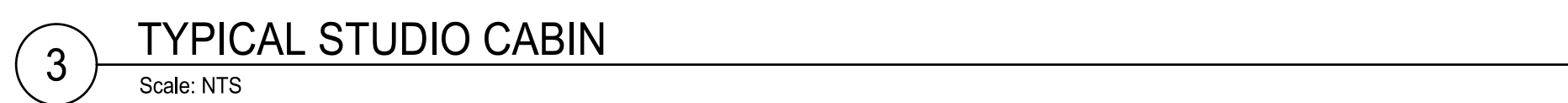
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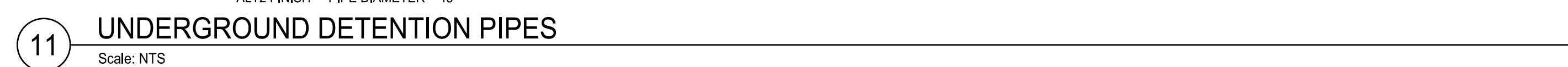
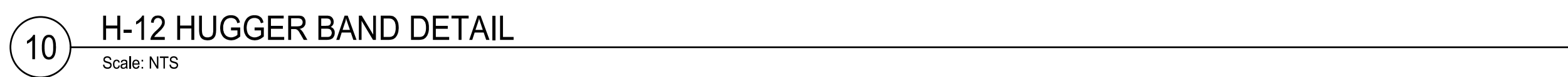
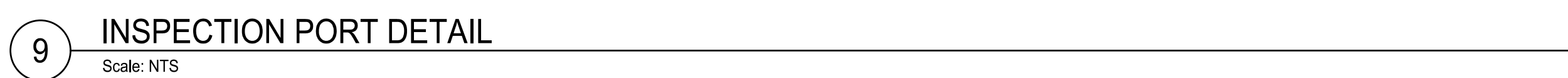
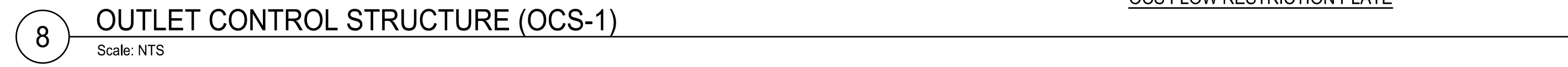
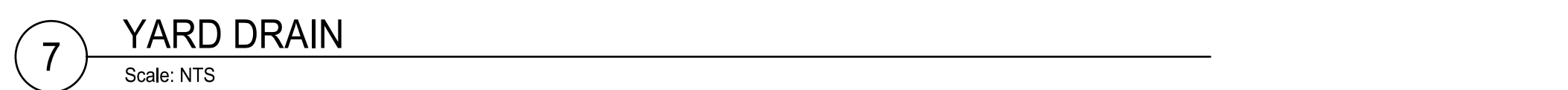
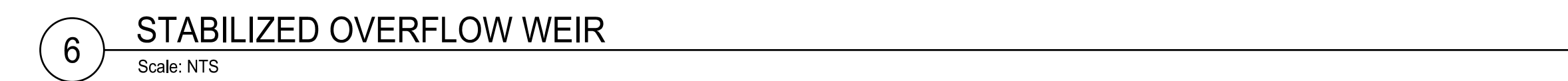
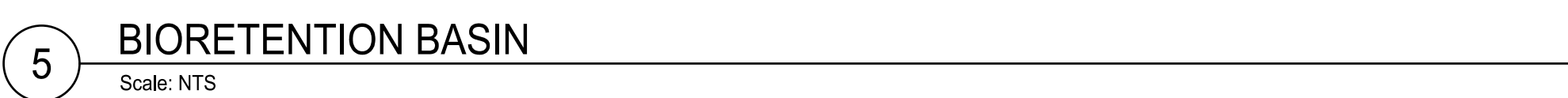
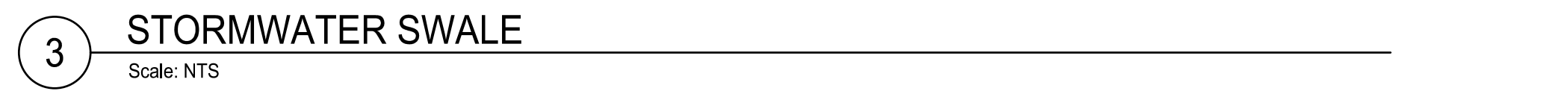
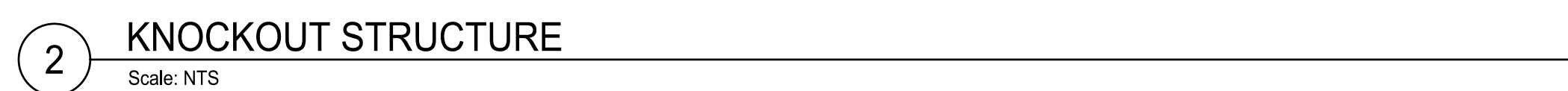
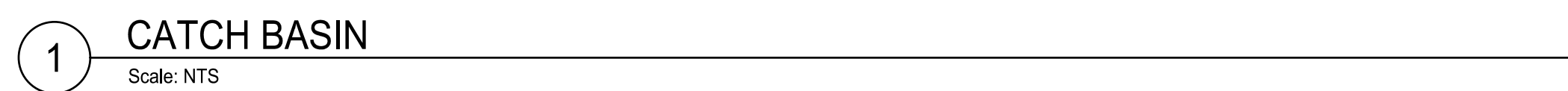
Drawing Title

SITE DETAILS

Drawing No.

L-800





GENERAL NOTES

- EXISTING CONDITIONS DATA WAS COMPILED USING A SURVEY TITLED "TOPOGRAPHIC SURVEY OF CERTAIN LANDS OF KAMPGROUNDS OF AMERICA KNOWN AS RIVERSIDE" BY ADIRONDACK SURVEYING PLLC, DATED MAY 17, 2022.
- PRIOR TO COMMENCING ANY EXCAVATION WORK, THE CONTRACTOR SHALL CONTACT U.F.P.O. (1-800-962-7962) AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANY HAVING JURISDICTION TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO CONTACT THE PROPER AUTHORITIES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
- THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE DIAGRAMMATIC ONLY. CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (WALLS, FENCE, FOOTINGS, TREE ROOTBALLS, PROPOSED LIGHTING FOOTINGS, ETC.). EXCAVATION REQUIRED WITHIN PROXIMITY OF UTILITY LINES SHALL BE DONE BY HAND. ANY DAMAGE AND INCURRED COSTS DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCY BETWEEN THE PLANS AND THE ACTUAL FIELD CONDITIONS TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE LIMITS OF WORK LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK THAT ARE DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR SHALL MEET LINE AND GRADE OF EXISTING CONDITIONS AT LIMIT OF WORK.
- THE CONTRACTOR SHALL ESTABLISH PERMANENT BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDS AND BENCH MARKS AND REPLACE ANY WHICH ARE DESTROYED OR DISTURBED.
- CONTRACTOR SHALL EMPLOY SPECIAL CARE IN SCHEDULING CONSTRUCTION SO AS TO MAINTAIN EXISTING VEHICULAR TRAFFIC PATTERNS, AND MINIMIZE DISRUPTION TO SURROUNDING PEDESTRIAN TRAFFIC. CONTRACTOR SHALL EMPLOY SPECIAL CARE TO PROTECT SAFETY OF PEDESTRIANS INSIDE AND OUTSIDE OF THE LIMIT OF WORK LINE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL REQUIRED PERMITS FROM ALL JURISDICTIONS AFFECTED BY THIS WORK ARE IN PLACE PRIOR TO CONSTRUCTION. FOR PERMITS ALREADY ISSUED, CONTRACTOR SHALL OBTAIN COPIES OF PERMITS AND STRICTLY ADHERE TO PERMIT CONDITIONS. PERMITS THAT ARE OUTSTANDING SHALL BE SECURED BY THE CONTRACTOR AND COORDINATED WITH THE OWNER'S REPRESENTATIVE.
- ALL ALTERATIONS TO THESE DRAWINGS MADE IN THE FIELD DURING CONSTRUCTION SHALL BE RECORDED BY THE CONTRACTOR ON "RECORD DRAWINGS".
- STORAGE AREAS FOR THE GENERAL CONTRACTOR'S EQUIPMENT AND MATERIALS SHALL BE LOCATED WITHIN THE LIMITS OF WORK AS SHOWN ON THE PLANS OR AS APPROVED BY THE OWNER.
- SHOULD ANYTHING BE OMITTED FROM THE PLANS WHICH IS NECESSARY FOR A COMPLETE UNDERSTANDING OF THE WORK, OR SHALL ANY ERROR APPEAR IN THE VARIOUS INSTRUMENTS FURNISHED OR IN THE WORK BY OTHER CONTRACTORS AFFECTING THE WORK COVERED HEREBY, THE CONTRACTOR SHALL AND WILL PROMPTLY NOTIFY THE OWNER'S REPRESENTATIVE, AND IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, HE SHALL AND WILL MAKE GOOD OF ANY DAMAGE OR DEFECT IN HIS WORK CAUSED THEREBY.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL EXISTING INFRASTRUCTURE FOR THE DURATION OF CONSTRUCTION. CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE HIS EFFORTS OF DEMOLITION, REMOVALS AND OR RELOCATION WORK WITH ALL TRADES. CONSULT ALL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH ALL OSHA AND OTHER STATE AND LOCAL SAFETY REQUIREMENTS DURING CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN NECESSARY TRAFFIC CONTROL DEVICES, DRUMS, DELINEATORS, SIGNS, FENCES, AND BARRICADES IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL MUTCD WITH NYS SUPPLEMENT TO PROPERLY PROTECT WORK, EQUIPMENT, PERSONS, AND PROPERTY FROM DAMAGE. ALL DAILY TRAFFIC IN THE VICINITY OF THE SITE SHALL NOT BE IMPEDED.

SITE PREPARATION & SITE DEMOLITION NOTES

- PRIOR TO CONSTRUCTION, CONTRACTOR SHALL ARRANGE PRE-CONSTRUCTION MEETING WITH OWNER'S REPRESENTATIVE TO REVIEW ALL APPLICABLE PERMIT CONDITIONS, THE CONSTRUCTION PLANS AND GENERAL CONSTRUCTION SCHEDULE.
- CONTRACTOR SHALL REFER TO PROJECT STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PRIOR TO MOBILIZATION / CONSTRUCTION. ALL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT SWPPP. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EARTH DISTURBING ACTIVITIES. REFER TO PROJECT PLANS, NOTES AND DETAILS.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER, SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- CONTRACTOR SHALL STRIP AND STOCKPILE EXISTING TOPSOIL TO FULL DEPTH WITHIN LIMIT OF GRADING BEFORE COMMENCING EXCAVATION AND GRADING OPERATIONS. TOPSOIL SHALL NOT BE REMOVED FROM THE SITE, UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL COORDINATE ALL ADJUSTMENT OR ABANDONMENT OF UTILITIES WITH THE RESPECTIVE UTILITY COMPANY AND PAY ALL ASSOCIATED COSTS.
- CONTRACTOR SHALL ABIDE BY ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT, ROADWAYS AND DRIVEWAYS.
- BEFORE ANY CLEARING IS DONE, THE CONTRACTOR SHALL ARRANGE A CONFERENCE ON THE SITE WITH THE OWNER TO IDENTIFY TREES WHICH ARE TO BE PROTECTED OR REMOVED. DO NO CLEARING WITHOUT A CLEAR UNDERSTANDING OF EXISTING CONDITIONS TO BE PRESERVED.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH AND SHARP EDGE AND PROTECTED UNTIL ABUTTING MATERIALS ARE INSTALLED.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE OWNER'S REPRESENTATIVE ON ALL MATERIALS TO BE REMOVED AND RECYCLED/DISPOSED OF OFF SITE. ALL HANDLING OF MATERIALS TO BE REMOVED, RECYCLED, OR DISPOSED OF MUST BE DONE SO IN A SAFE, LEGAL MANNER, IN ACCORDANCE WITH ALL LOCAL, COUNTY, STATE, FEDERAL AND ANY OTHER APPLICABLE REGULATIONS.
- ALL ITEMS REQUIRING REMOVAL SHALL BE REMOVED TO FULL DEPTH, INCLUDING BASE MATERIAL AND FOOTINGS OR FOUNDATIONS, UNLESS OTHERWISE NOTED.
- EXISTING ITEMS INDICATED TO BE SALVAGED OR STOCKPILED SHALL BE CAREFULLY REMOVED AND STORED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- TREE, SHRUB AND VEGETATION REMOVAL SHALL INCLUDE THE FELLING, CUTTING, GRUBBING OUT OF ENTIRE ROOT SYSTEM AND SATISFACTORY OFF-SITE DISPOSAL OF ALL TREES, SHRUBS, STUMPS, VEGETATIVE AND EXTRANEOUS DEBRIS PRODUCED THROUGH THE REMOVAL OPERATIONS. PITSHOLES REMAINING AFTER GRUBBING OPERATIONS SHALL BE BACKFILLED AND COMPACTED.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND PERFORMING ALL SITE DEMOLITION AND REMOVALS REQUIRED TO FACILITATE PROPOSED CONSTRUCTION.
- FIELD VERIFY EXISTING UTILITIES AND RESPECTIVE CONNECTIONS AND REPORT FINDINGS TO OWNER'S REPRESENTATIVE. IF UTILITIES MUST REMAIN IN SERVICE, PROTECT AGAINST DAMAGE AND MAINTAIN INTEGRITY OF SYSTEM.

LAYOUT NOTES:

- ALL LINE AND GRADE INFORMATION SHALL BE LAID OUT BY A NEW YORK STATE LICENSED SURVEYOR ENGAGED BY THE CONTRACTOR.
- ALL NEW WORK SHALL BE STAKED OUT PRIOR TO CONSTRUCTION. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY DISCREPANCIES. FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE NOTED.
- DIMENSIONS TO CURBS ARE FROM FACE OR BOTTOM OF CURB TO FACE OR BOTTOM OF CURB.
- FIELD ADJUSTMENTS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE AND IF NECESSARY APPROPRIATE MUNICIPAL OFFICIALS.
- ALL PROPOSED WALKS, PAVEMENTS, LIGHTS AND SITE IMPROVEMENTS SHALL BE STAKED IN THE FIELD FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (WALLS, FENCE, FOOTINGS, TREE ROOTBALLS, PROPOSED LIGHTING FOOTINGS, ETC.). CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- ALL EXISTING UTILITIES ARE SHOWN IN THEIR RELATIVE POSITION. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE VERTICAL & HORIZONTAL POSITION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

EROSION AND SEDIMENT CONTROL NOTES

- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM SPOES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY (SP-02-001). THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED FOR THIS PROJECT IS IN ACCORDANCE WITH THE GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP), AND GENERAL CONSTRUCTION SEQUENCING. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL REVIEW THE PROJECT SWPPP FOR SPECIFIC REQUIREMENTS REGARDING EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT. A COPY OF THE SWPPP MUST BE MAINTAINED ON THE PROJECT SITE IN AN ACCESSIBLE LOCATION AT ALL TIMES DURING CONSTRUCTION.
- PRIOR TO ANY SITE WORK, ALL CONTRACTORS AND SUBCONTRACTORS RESPONSIBLE FOR CONSTRUCTION, REPAIR, AND MAINTENANCE OF ANY EROSION AND SEDIMENT CONTROLS OR STORMWATER DEVICES MUST SIGNIFYIFY THE SWPPP AND IDENTIFY A "TRAINED CONTRACTOR" AS TRAINED BY NYSDEC.
- PRIOR TO BEGINNING EARTHWORK ACTIVITY, THE CONTRACTOR SHALL SUBMIT A MOBILIZATION PLAN SHOWING PROPOSED STOCKPILE AND STAGING AREAS, Haul/ACCESS ROADS, FIELD OFFICES AND EQUIPMENT STORAGE AREAS, AND A SCHEDULE DETAILING THE STAGING OF CONSTRUCTION TO THE QUALIFIED INSPECTOR (SWPPP INSPECTOR) AND OWNER'S REPRESENTATIVE FOR APPROVAL.
- THE CONTRACTOR SHALL NOT DISTURB MORE THAN (5) ACRES AT ANY ONE TIME WITHOUT PRIOR WRITTEN AUTHORIZATION FROM NYSDEC. ALL DISTURBED AREAS THAT DO NOT MEET THE DEFINITION OF "FINAL STABILIZATION" AS LISTED IN THE NYSDEC SPOES GENERAL PERMIT FOR STORMWATER DISCHARGES MUST BE INCLUDED WHEN CALCULATING THE TOTAL AREA DISTURBED AT ANY ONE TIME. FINAL STABILIZATION CAN INCLUDE CRUSHED STONE, PAVEMENT, OR SEEDED LAWN WITH A MINIMUM DENSITY OF 80% COVERAGE.
- EROSION CONTROL DEVICES SHALL BE INSPECTED DAILY AND MAINTAINED TO ENSURE SATISFACTORY PERFORMANCE AND COMPLIANCE WITH THE SWPPP.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK THE SWPPP FOR INSPECTION REPORTS, AND IMMEDIATELY MAKE REPAIRS AND CORRECTIONS NOTED. REMEDIATION WORK THAT IS REQUIRED AS A RESULT OF FAILING TO MAKE REPAIRS SHALL BE PERFORMED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ANY CHANGES TO THE SWPPP PROPOSED BY THE CONTRACTOR MUST BE APPROVED BY THE QUALIFIED INSPECTOR AND INCORPORATED INTO THE SWPPP PRIOR TO IMPLEMENTATION.
- ANY DEVIATIONS FROM OR CONSTRUCTION CONFLICTS WITH THE PROJECT SWPPP SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR PROPOSES A REVISED STAGING, SEQUENCING AND/OR MOBILIZATION PLAN, A MODIFIED PLAN MUST BE SUBMITTED TO THE QUALIFIED INSPECTOR FOR APPROVAL.
- THE CONTRACTOR SHALL INITIATE TEMPORARY AND PERMANENT STABILIZATION MEASURES AS SOON AS PRACTICABLE IN ACCORDANCE WITH THE SWPPP.
- ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE PLANS AND PROJECT SWPPP. IN ADDITION TO WHAT IS SHOWN ON PLANS, ANY SLOPES GREATER THAN 3:1 DISTURBED AS PART OF CONSTRUCTION SHALL BE STABILIZED IN ACCORDANCE WITH PROJECT DETAILS AND SWPPP.
- EROSION AND SEDIMENT CONTROL PROTECTIONS SHOWN ON THE PLANS REPRESENT THE MINIMUM MEASURES NECESSARY. ADDITIONAL MEASURES AND DEVICES MAY BE NEEDED DUE TO SITE SPECIFIC CONDITIONS OR CHANGING CONDITIONS DUE TO CONSTRUCTION. IN ORDER TO MAINTAIN COMPLIANCE WITH THE SWPPP AND GENERAL PERMIT, AND SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND THE AREA IS STABILIZED AND APPROVED BY THE QUALIFIED INSPECTOR.

TYPICAL EROSION AND SEDIMENT CONTROL SEQUENCING

CONSTRUCTION ASSOCIATED WITH EROSION AND SEDIMENT CONTROL SHALL TYPICALLY PROCEED IN THE FOLLOWING SEQUENCE, ANY DEVIATIONS OR ADJUSTMENTS TO THE TYPICAL SEQUENCING SHALL BE APPROVED BY THE QUALIFIED INSPECTOR. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IMPLEMENTED IN STRICT ACCORDANCE WITH THE PROJECT STORMWATER POLLUTION PREVENTION PLAN, AND CONTRACT DOCUMENTS.

PRE-CONSTRUCTION AND SITE PREPARATION

- PRE CONSTRUCTION MEETING - PROTOCOL MAY BE MODIFIED BY DESIGNATED QUALIFIED INSPECTOR.
- DEFINE INSPECTION SCHEDULE. REVIEW STORMWATER POLLUTION PREVENTION PLAN.
- DEFINE LIMITS OF DISTURBANCE AND CLEARING LIMITS.
- INSTALL TREE PROTECTION, AND WETLAND PROTECTION FENCE IF REQUIRED.
- INSTALL STABILIZED CONSTRUCTION ACCESS AND INITIAL STAGING AREAS.
- INSTALL PERIMETER EROSION CONTROL INCLUDING SILT FENCE, FILTER SOCKS, ETC.
- CLEAR AND GRUB EXISTING VEGETATION.

TEMPORARY RUNOFF AND DRAINAGE CONTROL

- TEMPORARILY STABILIZE CLEARED AREAS THAT WILL NOT BE DISTURBED WITHIN 14 DAYS.
- INSTALL ADDITIONAL PERIMETER EROSION CONTROL IN CLEARED AREAS AS NEEDED.
- INSTALL INLET PROTECTION

EARTHWORK AND SITE CONSTRUCTION

- STRIP & STOCKPILE TOPSOIL.
- INSTALL INFRASTRUCTURE, INCLUDING CATCH BASINS WITH INLET PROTECTION, PIPING, AND PERMANENT DRAINAGE STRUCTURES.
- PERFORM ROUGH GRADING.

TEMPORARY STABILIZATION OF WORK AREA

- STABILIZE ALL BARE SOIL AREAS AS SOON AS PRACTICAL AND IN ACCORDANCE WITH THE SWPPP.
- INSPECT ALL PERIMETER EROSION CONTROL AND REPAIR AS NEEDED AND/OR DIRECTED.
- INSTALL REPAIR ALL INLET / OUTLET PROTECTION AND STRUCTURAL STABILIZATION SUCH AS EROSION CONTROL BLANKETS, RIP RAP, AND CHECKDAMS.
- REMOVE SEDIMENT FROM TRAPPING DEVICES IN ACCORDANCE WITH THE SWPPP.

PERMANENT STABILIZATION

- PERFORM SOIL RESTORATION, DECOMPACTION AND FINISHED GRADING.
- INSTALL SOO OR SEED, MULCH ALL GRASSED AREAS AND STABILIZE SLOPES IN ACCORDANCE WITH THE SWPPP AND CONTRACT DOCUMENTS.
- INSTALL PROPOSED PLANT MATERIALS.
- RECEIVE CERTIFICATION OF FINAL STABILIZATION FROM QUALIFIED INSPECTOR.
- CLEAN ALL STORMWATER SYSTEMS OF SEDIMENT, TRASH, AND DEBRIS.
- REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES ONLY WHEN WORK AREAS ARE APPROVED AS STABILIZED BY THE QUALIFIED INSPECTOR.

PLANTING NOTES:

- ALL NEW PLANT MATERIAL SHALL CONFORM TO THE MINIMAL GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. ALL NEW MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY UNLESS APPROVED OTHERWISE BY OWNER'S REPRESENTATIVE.
- ALL CONTAINER GROWN PLANTS SHALL BE PREMIUM QUALITY AND APPEAR "FULL" IN HEIGHT AND WIDTH WITHIN THE POT. PLANTS DEEMED SUBSTANDARD IN SIZE SHALL BE REJECTED.
- ALL NEW PLANTS TO BE BALLED AND BURLAPPED OR CONTAINER GROWN UNLESS OTHERWISE NOTED ON PLANT LIST.
- THE CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWINGS.
- IN GENERAL, PLANT SPECIES SUBSTITUTIONS WILL NOT BE ACCEPTED. IF SPECIFIED MATERIAL IS NOT OBTAINABLE, CONTRACTOR SHALL SUBMIT PROOF OF NON-AVAILABILITY TO LANDSCAPE ARCHITECT ALONG WITH PROPOSED SUBSTITUTION. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, SIZE, BRANCHING HABIT, FLOWER, LEAF, COLOR, FRUIT AND CULTURE, AND ONLY AFTER WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITY LINES PRIOR TO PLANTING AND SHALL REPORT ANY CONFLICTS TO THE OWNER'S REPRESENTATIVE.
- NEW SHRUBS AND GROUND COVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING.
- ALL PLANT BEDS TO RECEIVE THREE INCHES (3") OF BARK MULCH UNLESS OTHERWISE SPECIFIED.
- ALL AREAS PROPOSED FOR LAWN SEEDING SHALL RECEIVE A MINIMUM OF 6" OF SUITABLE TOPSOIL PRIOR TO SEEDING. ALL DISTURBED AREAS NOT SCHEDULED FOR PROPOSED WORK SHALL RECEIVE FOUR INCHES (4") OF SUITABLE TOPSOIL PRIOR TO SEEDING.
- PLANTS SHALL BE DELIVERED ONLY AS THEY CAN BE INSTALLED IN REASONABLE TIME. ALL PLANTS ARE SUBJECT TO INSPECTION AT DELIVERY BY THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE.
- IF DISCREPANCIES EXIST BETWEEN THE NUMBER OF PLANTS DRAWN ON THE PLANTING PLAN AND THE NUMBER OF PLANTS IN THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.
- STAKE LOCATION OF ALL PROPOSED PLANTING FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF PLANTING.

GRADING NOTES

- ALL PROPOSED GRADES SHALL BE SET IN THE FIELD BY A NEW YORK STATE LICENSED LAND SURVEYOR.
- CONTRACTOR SHALL ESTABLISH PERMANENT SECONDARY BENCHMARKS PRIOR TO THE START OF CONSTRUCTION. ALL SECONDARY BENCHMARKS SHALL BE SO LOCATED THAT THEY WILL NOT BE DISTURBED BY CONSTRUCTION.
- PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM SLOPE OF ONE-EIGHTH INCH (1/8") PER FOOT.
- MAXIMUM CROSSPITCH OF ALL SIDEWALKS IS 2%. RAMPS SHALL NOT EXCEED 1 IN 12 OR 30' IN LENGTH. ANY DISCREPANCIES NOT ALLOWING THIS TO OCCUR SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE PRIOR TO CONTINUING WORK.
- SITE PAVEMENT SHALL MEET ALL BUILDING DOOR THRESHOLDS FLUSH AND IN ACCORDANCE WITH ADA GUIDELINES.
- ALL PROPOSED TOP OF VERTICAL CURB ELEVATIONS ARE SIX INCHES (6") ABOVE BOTTOM OF CURB UNLESS SHOWN OTHERWISE.
- WHERE NEW PAVING MEETS EXISTING PAVING, NEW PAVING SHALL MEET THE LINE AND GRADE OF THE EXISTING PAVING.
- SET CATCH BASIN AND DROP INLET RIMS TO DRAIN SURROUNDING AREAS AND AT SAME PITCH AS SLOPING PAVEMENT. IF STRUCTURE IS SHOWN ADJACENT TO CURB, SET GRATE TIGHT TO FACE OF CURB.
- EXCAVATION REQUIRED WITHIN 3 FEET OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO OWNER.
- GRADE AREAS ADJACENT TO BUILDING LINES TO DRAIN AWAY FROM STRUCTURE AND PREVENT PONDING. FINISH SURFACES SHALL BE FREE FROM IRREGULAR SURFACE CHANGES.
- EXCAVATION REQUIRED WITHIN DRIP LINE OF TREES DESIGNATED TO REMAIN SHALL BE DONE BY HAND. PLANT MATERIALS DAMAGED BY CONTRACTOR SHALL BE REPLACED IN KIND.
- SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH LOCAL CODES AND ORDINANCES HAVING JURISDICTION AND OSHA REGULATIONS. MAINTAIN SIDE SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.
- THE GENERAL CONTRACTOR SHALL MAINTAIN OR ADJUST TO NEW FINISH GRADE AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS LIGHT POLES, SIGN POLES, MAN HOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS UNLESS OTHERWISE NOTED ON THE UTILITY DRAWINGS OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL BLEND NEW EARTH-WORK SMOOTHLY INTO EXISTING, PROVIDING VERTICAL CURVES OR ROUNDINGS AT ALL TOP AND BOTTOM OF SLOPES.
- CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF THE EXISTING DRAINAGE SYSTEM AT ALL TIMES. WHEN IT IS NECESSARY TO INTERRUPT THE EXISTING DRAINAGE PATTERNS AND/OR UTILITIES, PROVIDE TEMPORARY FACILITIES UNTIL WORK IS PERMANENTLY STABILIZED AND APPROVED BY OWNER'S REPRESENTATIVE.

UTILITY NOTES

- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FOLLOWING UTILITY LOCATING REQUIREMENTS:
 - LOCATIONS, EXTENT, AND SIZES OF OVERHEAD AND UNDERGROUND UTILITIES AND SUBSTRUCTURES HAVE BEEN DETERMINED FROM RECORD MAPPING INFORMATION, AND SUPPLEMENTED BY DATA OBTAINED IN THE FIELD. THE ACCURACY OF THIS UTILITY DATA IS NOT GUARANTEED, NOR IS THERE ANY GUARANTEE THAT ALL EXISTING UTILITIES AND SUBSTRUCTURES, WHETHER FUNCTIONAL OR ABANDONED, ARE SHOWN ON THE SURVEY.
 - THE CONTRACTOR SHALL CONTACT DIG SAFELY NEW YORK (800) 962-7962 AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANY HAVING JURISDICTION TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK.
 - THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR ADDITIONAL INFORMATION ON THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
 - ANY COSTS INCURRED BY THE CONTRACTOR DUE TO FAILURE TO COORDINATE AND CONTACT THE PROPER AUTHORITIES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO CONSTRUCTION, WATER AND SEWER CONNECTIONS SHALL BE REVIEWED AND APPROVED BY THE THE AUTHORITY HAVING JURISDICTION IN ACCORDANCE WITH THEIR RESPECTIVE REQUIREMENTS.
- CONTRACTOR SHALL COORDINATE ALL REQUIRED UTILITY INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION IN ACCORDANCE WITH THEIR RESPECTIVE REQUIREMENTS.
- ALL UTILITY INSTALLATIONS SHALL BE IN ACCORDANCE WITH ALL REGULATORY, LOCAL MUNICIPAL AND BUILDING CODE REQUIREMENTS.
- ALL SEWERS, WATER MAINS, DRAINAGE STRUCTURES AND OTHER UNDERGROUND FACILITIES, TOGETHER WITH APPURTENANCES, SHALL BE INSTALLED ONLY AFTER THE SUBGRADE HAS BEEN ESTABLISHED AND INSPECTED.
- UTILITIES SHALL NOT BE BACKFILLED UNTIL INSPECTED AND APPROVED BY INSPECTING ENGINEER.
- CONTRACTOR SHALL VERIFY EXACT LOCATIONS OF UTILITY STUBS AND FOOTING DRAINS FOR BUILDING CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS PRIOR TO CONSTRUCTION. AND REPORT DISCREPANCIES TO OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (LINES, DUCTS, CONDUITS, SLEEVES, FOOTINGS, ETC.) WITH LOCATIONS OF PROPOSED LANDSCAPE ELEMENTS (WALLS, FENCE, FOOTINGS, TREE ROOTBALLS, PROPOSED LIGHTING FOOTINGS, ETC.) AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE. ANY DAMAGE AND INCURRED COSTS DUE TO FAILURE OF THE CONTRACTOR TO VERIFY UTILITY LOCATIONS SHALL BE BORNE BY THE CONTRACTOR.
- EXTEND DESIGNATED LIMIT OF WORK AS NECESSARY TO ACCOMPLISH SITE UTILITY WORK AS REQUIRED BY THESE DRAWINGS. COORDINATE ANY WORK OUTSIDE THE LIMIT OF WORK WITH OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PROTECT AND SUSTAIN IN NORMAL SERVICE ALL EXISTING UTILITIES, STRUCTURES, EQUIPMENT ROADWAYS AND DRIVEWAYS FOR THE DURATION OF CONSTRUCTION.



Kampgrounds of America, Inc.
550 N 31st Street
Billings, MT 59101

Civil Engineer:
North Woods Engineering
348 Lake Street
Saranac Lake, NY 12983

Surveyor:
Ausfeld & Waldruff
323 Clinton Street
Schenectady, NY 12305

Surveyor:
Adirondack Surveying PLLC
PO Box 334
Jay, New York 12941
(518) 946-7571

Project Title:

Lake Placid /
Whiteface Mtn KOA
Holiday - Riverside

5644 NYS Route 86
Wilmington, NY 12997

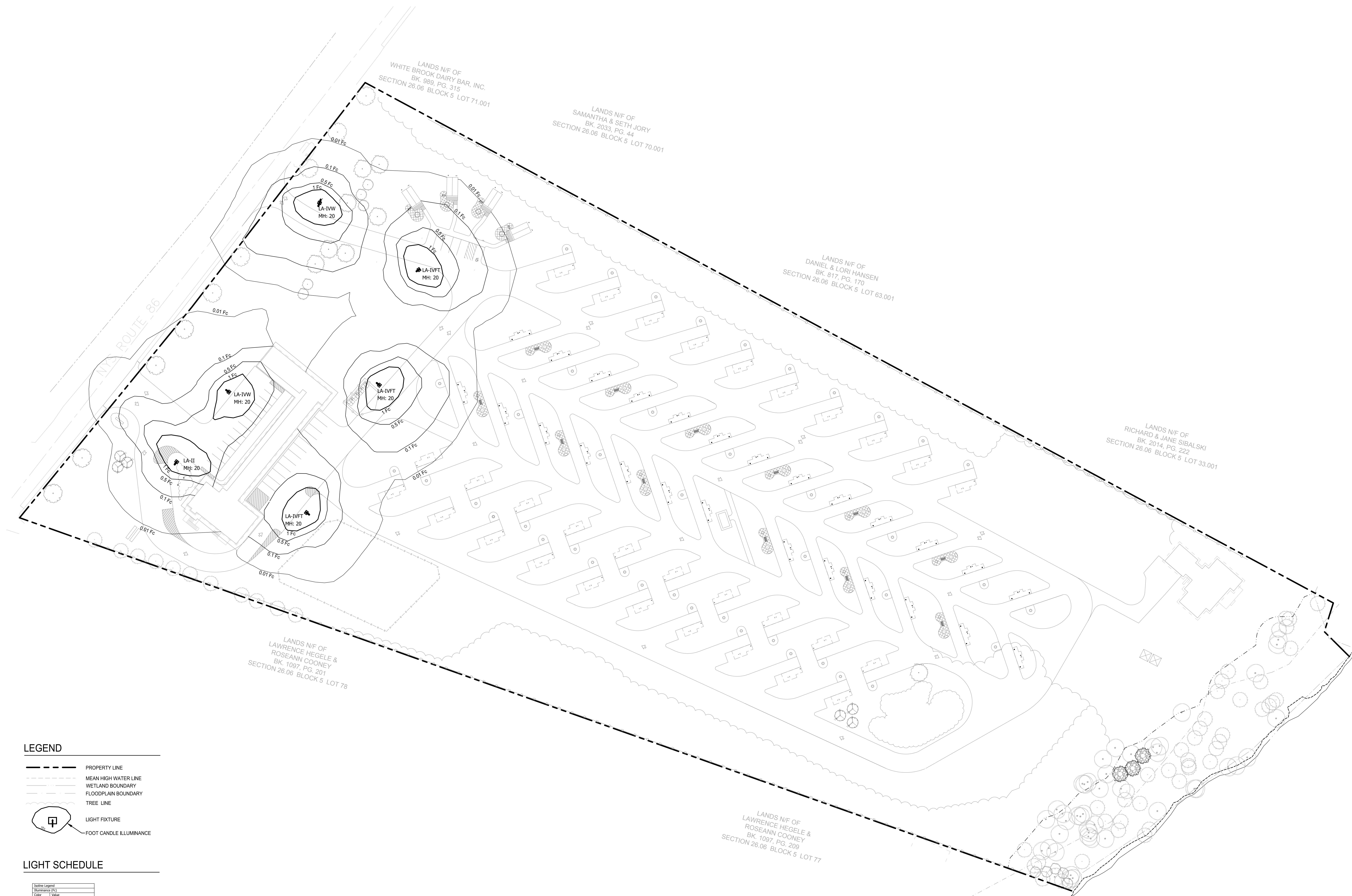
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Design:		MJT	
Drawn:	KAM	Ch'k'd:	MJT
Date:	02/24/2024	Scale:	1"=40'
Rev:	Description:	Date:	

Drawing Title

NOTES

Drawing No:

L-804




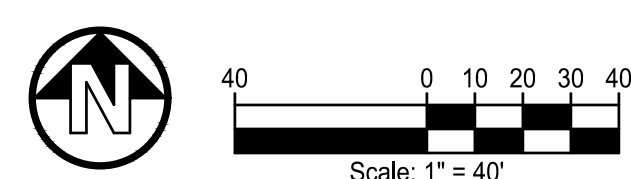
LEGEND

-
- PROPERTY LINE
- MEAN HIGH WATER LINE
- WETLAND BOUNDARY
- FLOODPLAIN BOUNDARY
- TREE LINE
- LIGHT FIXTURE
- FOOT CANDLE ILLUMINANCE

LIGHT SCHEDULE

Color	Value
	0.01
	0.1
	0.5
	1

Luminaire Schedule													
Symbol	Qty	Label	Arrangement	Lum. Lumens	Lum. Watts	Arr. Watts	Total Watts	LLD	LDD	θ°	LLF	BUG Rating	Description
	2	LA-1WV	SINGLE	4831	59	59	236	0.950	0.950	1.000	0.903	B1-U0-G2	GPC-SAIC-730-U-T4W
	3	LA-1VFT	SINGLE	6920	59	59	118	0.950	0.950	1.000	0.903	B1-U0-G2	GPC-SAIC-730-U-T4FT
	1	LA-11	SINGLE F	6750	94	94	94	0.950	0.950	1.000	0.903	B1-U0-G2	GPC-SAIC-730-U-T7



Project Title: _____

Lake Placid /
Whiteface Mtn KOA
Holiday - Riverside

5644 NYS Route 86
Wilmington, NY 12997

Project No.:	2021110.02		
Design:	MJT		
Drawn:	KAM	Ch'k'd:	MJT
Date:	02/20/2024	Scale:	1"=40'

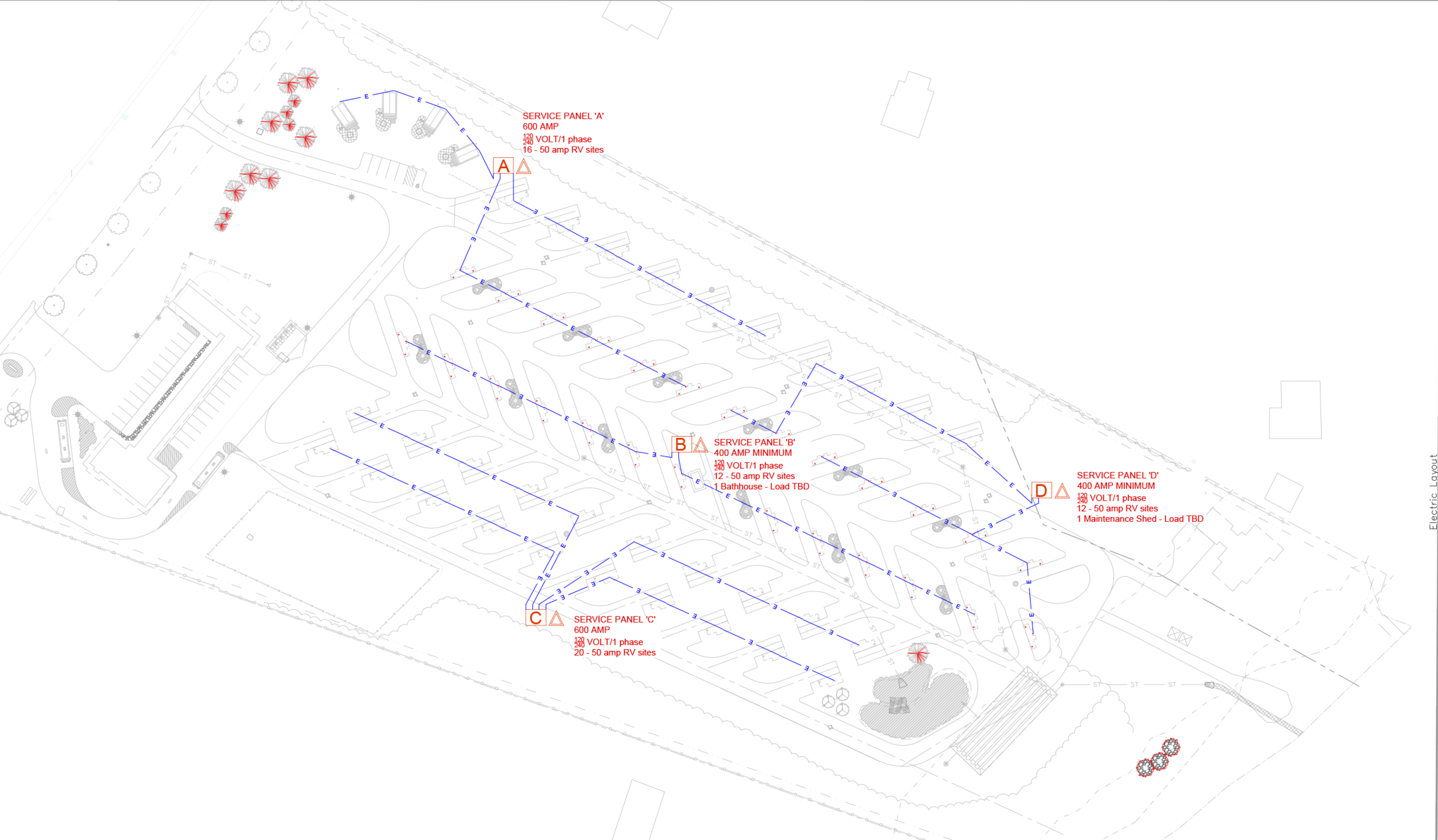
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Drawing Title

SITE
PHOTOMETRICS
PLAN

Drawing No. _____

L-900



Electric Layout

LEGEND:



ELECTRICAL LOAD:

SITE COUNT:



Lake Placid - Riverside
KAMPGROUND DEVELOPMENT PLAN
FRANCHISE NO. 32-239
02.12.2024
PRELIMINARY NO. 1
SHEET:
SCALE: 1" = 40'

PREPARED BY: R. BERGEN
KAMPGROUNDS OF AMERICA, INC., BILLINGS, MONTANA



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WILMINGTON - RIVERSIDE
KOA HOLIDAY - RIVERSIDE
5644 NYS ROUTE 86, WILMINGTON, NY 12997

PROJECT NAME
LOCATION

WILMINGTON, NY

DATE	ISSUED FOR	REV
2/15/24	PERMITTING	

DRAWN BY: JRC
CHECKED BY: JAG
PROJECT #: 22-040
ORIGINAL 30"x42"

TITLE

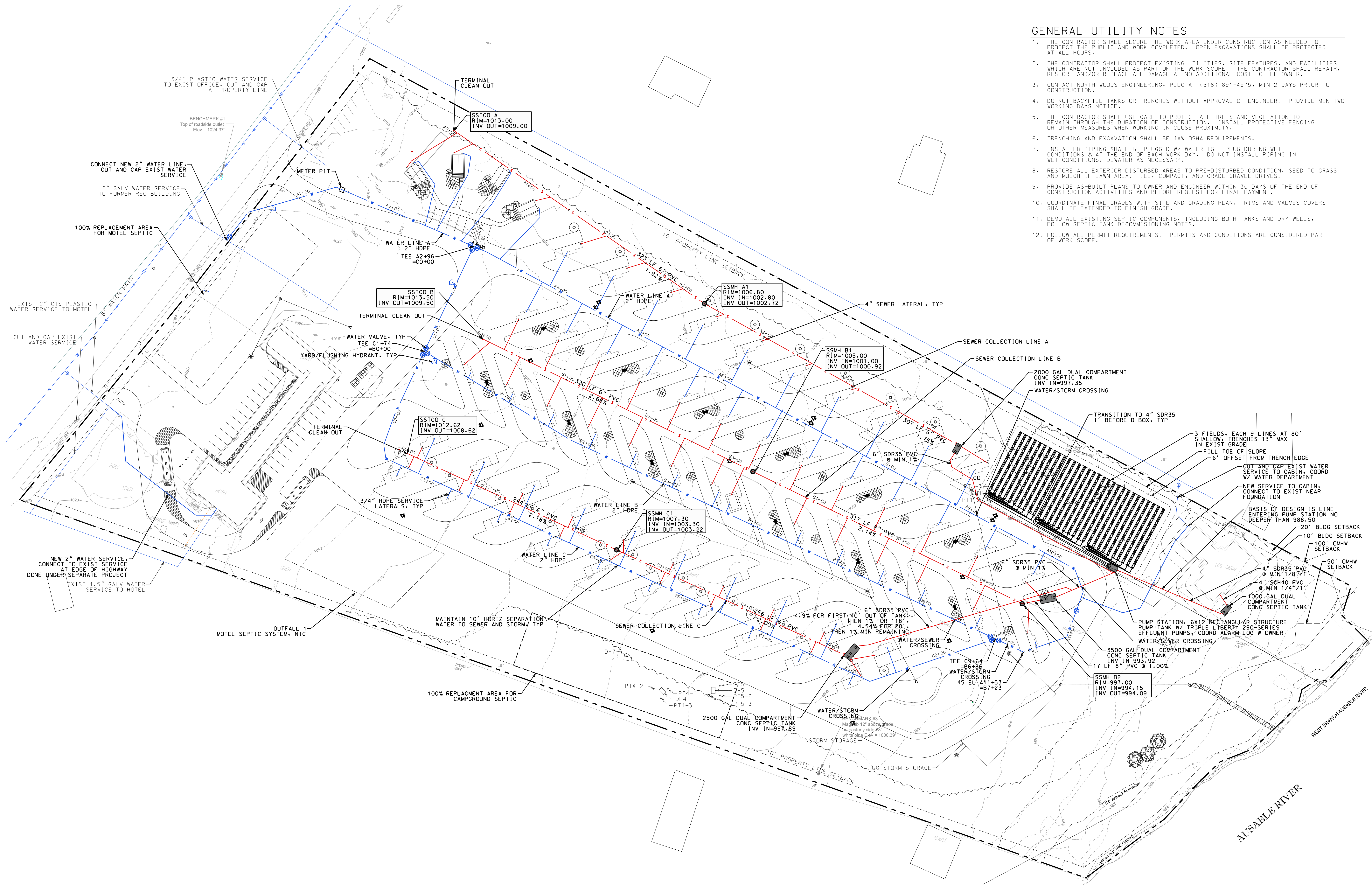
UTILITY PLAN

SHEET

C100

GENERAL UTILITY NOTES

1. THE CONTRACTOR SHALL SECURE THE WORK AREA UNDER CONSTRUCTION AS NEEDED TO PROTECT THE PUBLIC AND WORK COMPLETED. OPEN EXCAVATIONS SHALL BE PROTECTED AT ALL HOURS.
2. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES, SITE FEATURES, AND FACILITIES WHICH ARE NOT INCLUDED AS PART OF THE WORK SCOPE. THE CONTRACTOR SHALL REPAIR, RESTORE AND/OR REPLACE ALL DAMAGE AT NO ADDITIONAL COST TO THE OWNER.
3. CONTACT NORTH WOODS ENGINEERING, PLLC AT (518) 891-4975, MIN 2 DAYS PRIOR TO CONSTRUCTION.
4. DO NOT BACKFILL TANKS OR TRENCHES WITHOUT APPROVAL OF ENGINEER. PROVIDE MIN 20 WORKING DAYS NOTICE.
5. THE CONTRACTOR SHALL USE CARE TO PROTECT ALL TREES AND VEGETATION TO REMAIN THROUGH THE DURATION OF CONSTRUCTION. INSTALL PROTECTIVE FENCING OR OTHER MEASURES WHEN WORKING IN CLOSE PROXIMITY.
6. TRENCHING AND EXCAVATION SHALL BE IN ACCORDANCE WITH OSHA REQUIREMENTS.
7. INSTALLED PIPING SHALL BE PLUGGED W/ WATERTIGHT PLUG DURING WET CONDITIONS & AT THE END OF EACH WORK DAY. DO NOT INSTALL PIPING IN WET CONDITIONS, DE WATER AS NECESSARY.
8. RESTORE ALL EXTERIOR DISTURBED AREAS TO PRE-DISTURBED CONDITION. SEED TO GRASS AND MULCH IF LAWN AREA. FILL, COMPACT, AND GRADE GRAVEL DRIVES.
9. PROVIDE AS-BUILT PLANS TO OWNER AND ENGINEER WITHIN 30 DAYS OF THE END OF CONSTRUCTION ACTIVITIES AND BEFORE REQUEST FOR FINAL PAYMENT.
10. COORDINATE FINAL GRADES WITH SITE AND GRADING PLAN. RIMS AND VALVES COVERS SHALL BE EXTENDED TO FINISH GRADE.
11. DEMO ALL EXISTING SEPTIC COMPONENTS, INCLUDING BOTH TANKS AND DRY WELLS. FOLLOW SEPTIC TANK DECOMMISSIONING NOTES.
12. FOLLOW ALL PERMIT REQUIREMENTS. PERMITS AND CONDITIONS ARE CONSIDERED PART OF WORK SCOPE.



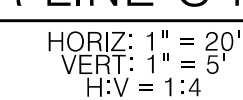
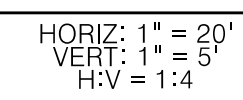
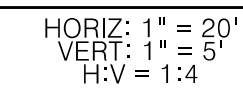
UTILITY PLAN
1" = 40'



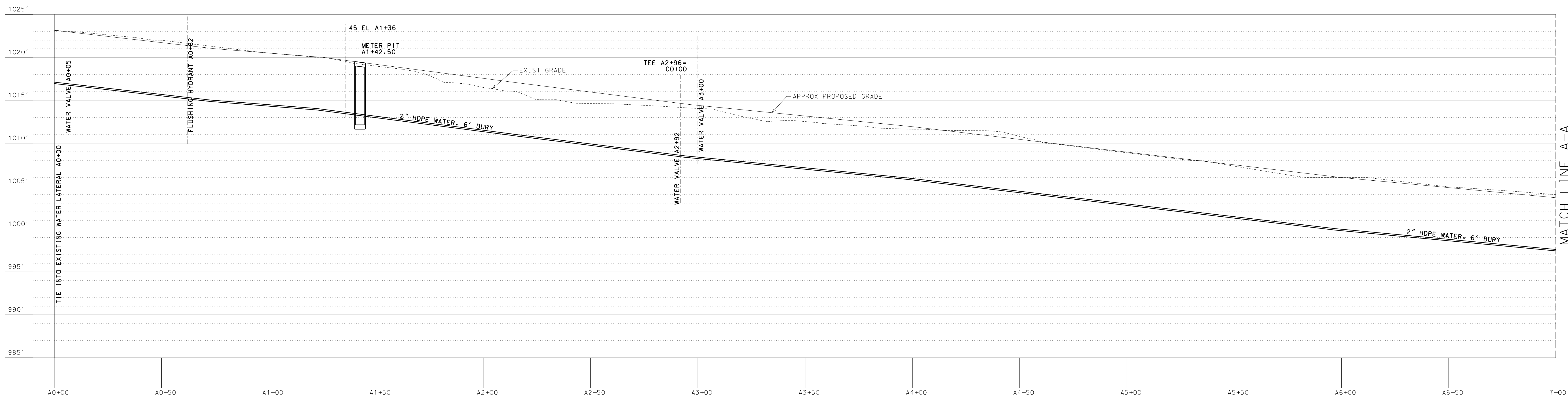
LEGEND

- PROPERTY LINE
- - - EXISTING SITE FEATURE
- - - EXISTING WATER MAIN
- - - EXISTING WATER LATERAL
- - - SITE FEATURE
- - - SANITARY SEWER MAIN
- - - SANITARY SEWER LATERAL
- - - SANITARY FORCE MAIN
- - - WATER MAIN
- - - WATER LATERAL

WILMINGTON
KOA HOLIDAY - RIVERSIDE
5644 NYS ROUTE 86, WILMINGTON, NY 12997

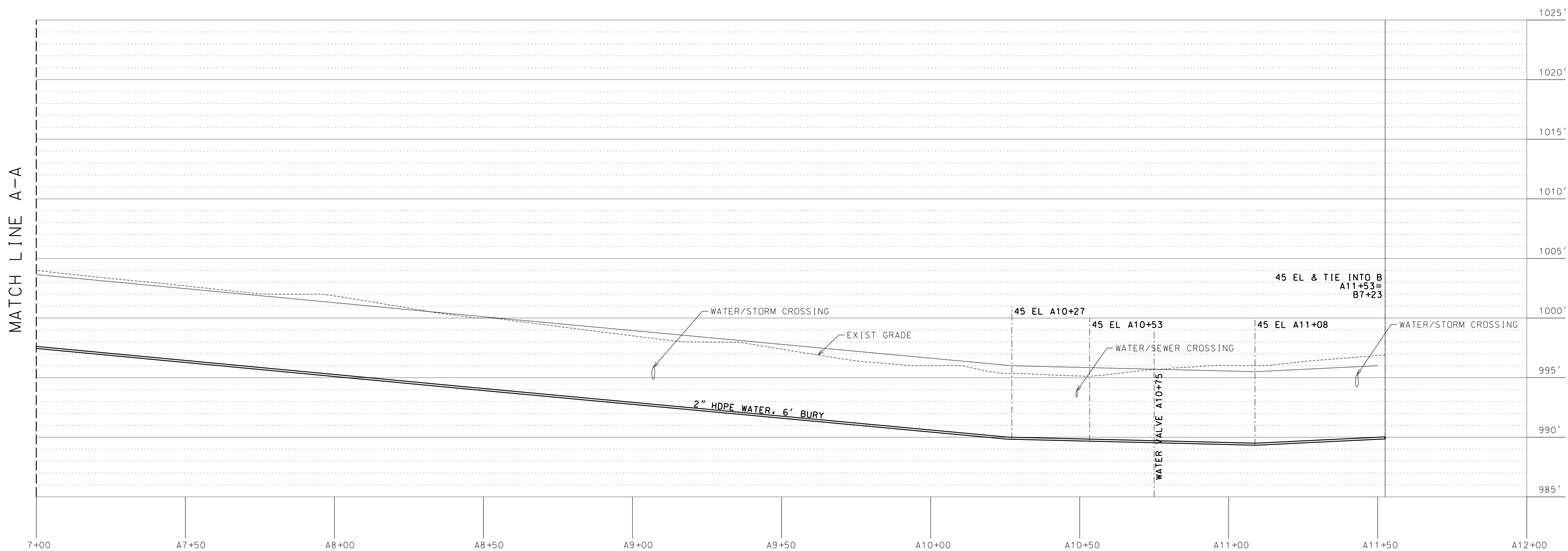


C200



WATER LINE A PROFILE

HORIZ: 1" = 20'
VERT: 1" = 5'
H/V = 1:4



WATER LINE A PROFILE

HORIZ: 1" = 20'
VERT: 1" = 5'
H/V = 1:4

North Woods
Engineering PLLC

348 Lake Street
Saranac Lake, NY 12983
(518) 881-4875
www.north-woods-engineering.com

New York State Certified
Professional Engineer

STATE OF NEW YORK

JOSEPH A. GARDNER

075497

PROFESSIONAL ENGINEER

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PROJECT NAME

LOCATION

DATE

ISSUED FOR

REV

WILMINGTON, NY

DATE

ISSUED FOR

REV

DRAWN BY: JRC

CHECKED BY: JAG

PROJECT #: 22-040

ORIGINAL 30"x42"

TITLE

WATER LINE A
PROFILE

SHEET

C201



WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON UNLICENSED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER TO SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION AND A DESCRIPTION OF THE ALTERATION."

PROJECT NAME
WILMINGTON
KOA HOLIDAY - RIVERSIDE
5644 NYS ROUTE 86, WILMINGTON, NY 12997

PROJECT NAME

LOCATION

WILMINGTON, NY

DATE	ISSUED FOR	REV
2/15/24	PERMITTING	

DRAWN BY: JRC

CHECKED BY: JAG

PROJECT #: 22-040

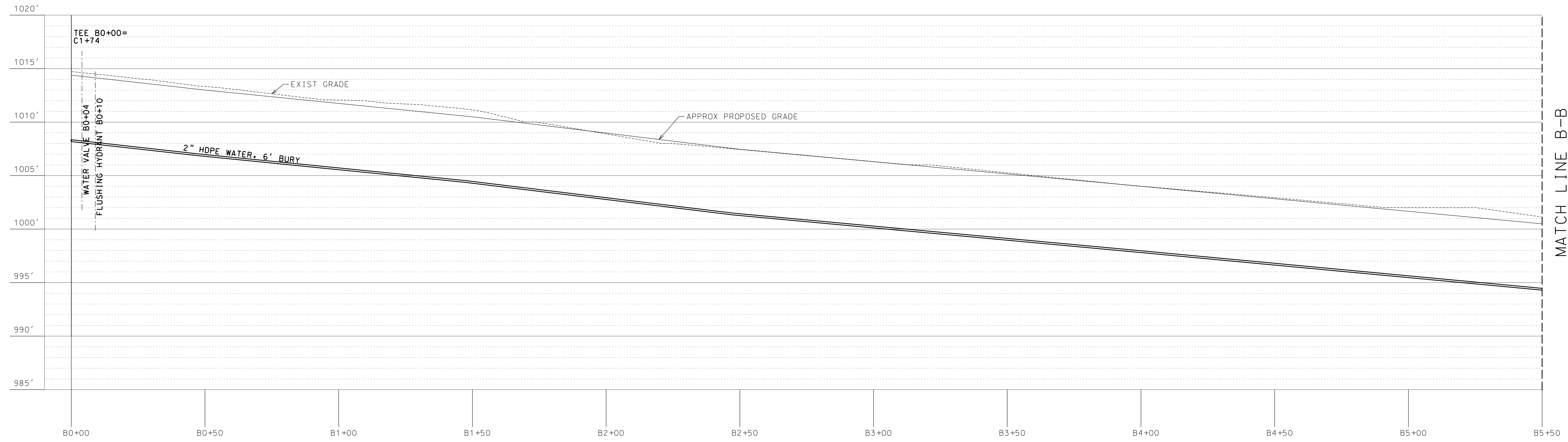
ORIGINAL 30"x42"

TITLE

WATER LINE B
PROFILE

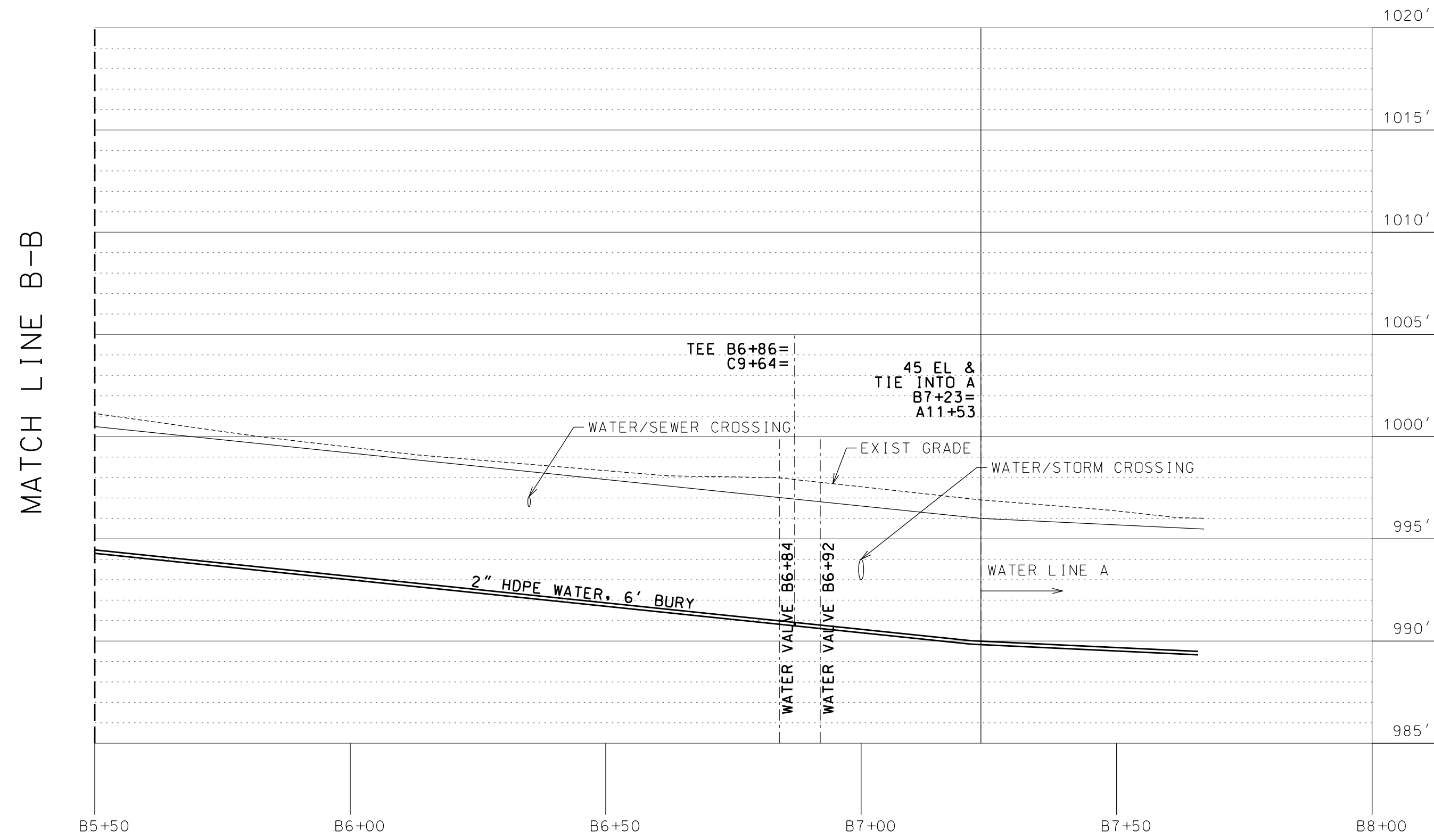
SHEET

C202



WATER LINE B PROFILE

HORIZ: 1" = 20'
VERT: 1" = 5'
H-V = 1:4



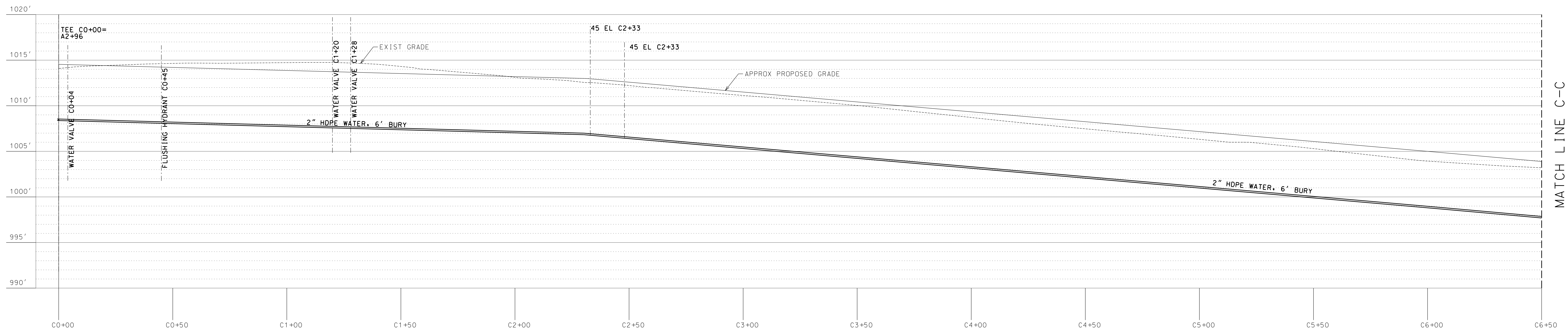
WATER LINE B PROFILE

HORIZ: 1" = 20'
VERT: 1" = 5'
H-V = 1:4

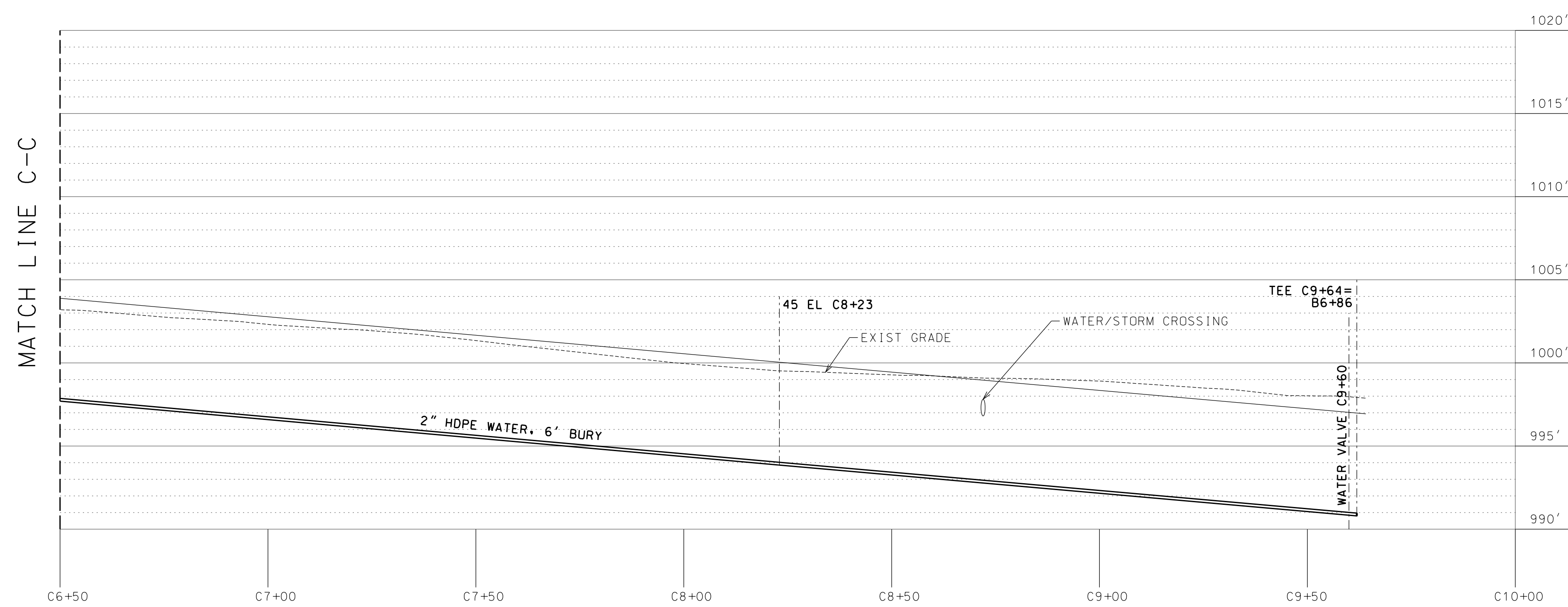


WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON UNLICENSED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER TO SEAL OR SIGN IN ANY MANNER, ALTER, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION AND A DESCRIPTION OF THE ALTERATION."

WILMINGTON
KOA HOLIDAY - RIVERSIDE
5644 NYS ROUTE 86, WILMINGTON, NY 12997



WATER LINE C PROFILE
HORIZ: 1" = 20'
VERT: 1" = 5'
H/V = 1:4



WATER LINE C PROFILE
HORIZ: 1" = 20'
VERT: 1" = 5'
H/V = 1:4

PROJECT NAME

LOCATION

WILMINGTON, NY

DATE	ISSUED FOR	REV
2/15/24	PERMITTING	

DRAWN BY: JRC

CHECKED BY: JAG

PROJECT #: 22-040

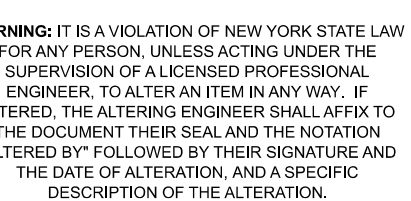
ORIGINAL 30"x42"

TITLE

WATER LINE C
PROFILE

SHEET

C203



NTS

1. CUT TREES AND STUMPS AT GRADE AND REMOVE. OTHER VEGETATION SHALL BE CUT AS CLOSE TO GRADE AS POSSIBLE AND REMOVED. ALL LEAVES, LIMBS AND BOULDERS ABOVE GRADE SHALL BE REMOVED.
2. FILL MATERIAL SHALL BE CAREFULLY PLACED WITHIN THE ABSORPTION AREA AND THE EDGE OF THE FILL MATERIAL SHALL BE TAPERED BEGINNING AT LEAST SIX FEET BEYOND THE TRENCH, TAPER TO ORIGINAL GRADE AT A SLOPE NO GREATER THAN ONE VERTICAL TO THREE HORIZONTAL.
3. ON SLOPED SITES A DIVERSION DITCH OR BERM SHALL BE CONSTRUCTED ON THE UPHILL SIDE OF THE FILL MATERIAL TO PREVENT SURFACE RUNOFF FROM ENTERING THE FILL.
4. THE SHALLOW ABSORPTION TRENCH SYSTEM IS CONSTRUCTED IN THE EXISTING MATERIAL AND UNDER EXISTING IN SITU SOIL. CONSTRUCTION OF TRENCHES AT LEAST SIX INCHES INTO EXISTING IN SITU SOIL IS PREFERRED TO UTILIZE A STABILIZED SIDEWALL INFILTRATIVE SURFACE. SEE PLANS AND REPORT FOR MAXIMUM TRENCH DEPTH INTO GROUND.
5. DO NOT INSTALL TRENCHES IN WET SOIL AS IT CAN LEAD TO SMEARING AND COMPACTION OF THE SOIL SURFACE. DO NOT INSTALL TRENCHES WHEN THE GROUND IS FROZEN.
6. TRENCHES SHALL BE INSTALLED PARALLEL TO GROUND CONTOURS AND AS SHALLOW AS POSSIBLE.
7. SIDES AND BOTTOM OF TRENCHES SHALL BE RAKED PRIOR TO PLACEMENT OF AGGREGATE.
8. HEAVY EQUIPMENT USE IN THE AREA OF THE ABSORPTION FIELD SHALL BE KEPT TO A MINIMUM TO PREVENT COMPACTION.
9. TRENCH BOTTOMS SHOULD BE GRADED BY HAND AND ARE TO BE CHECKED BY A TRANSIT OR TRIPOD MOUNTED LEVEL TO ENSURE LEVEL GRADE.
10. DOSSED DISTRIBUTION PIPE SHALL BE INSTALLED LEVEL AND ENDS SHALL BE CAPPED.
11. THE BACKFILL IS TO BE SLIGHTLY MOUNDED. THE ENTIRE AREA SHALL BE COMPACTED LIGHTLY AND GRADED, EITHER BY HAND OR WITH EQUIPMENT LOCATED OUTSIDE THE ABSORPTION AREA. LASTLY, THE AREA SHALL BE COVERED WITH A TOPSOIL AND COVERED WITH A PERCENT FROM



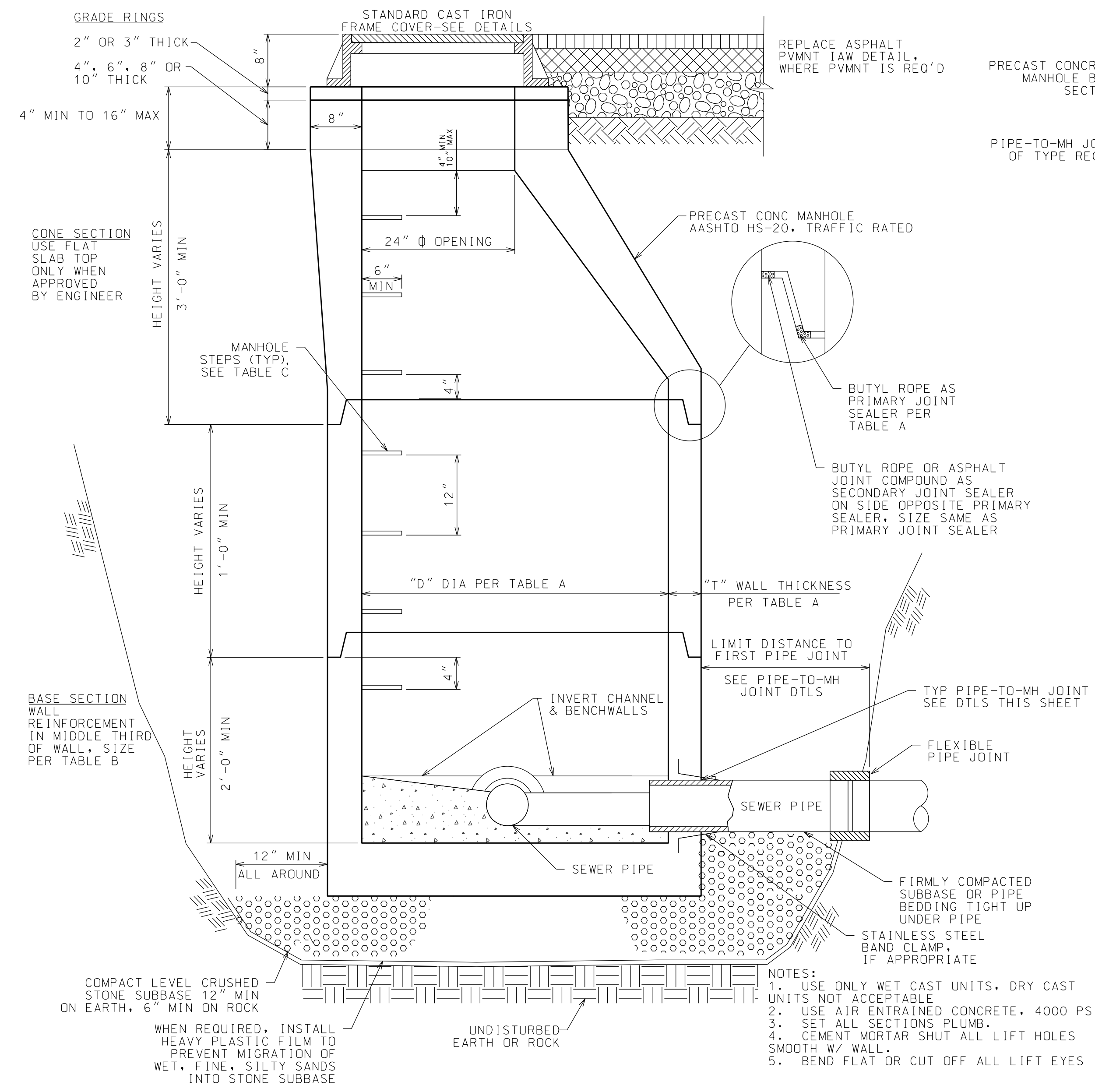
- NOTES:
1. MIN OF 6" WALL THICKNESS FOR CAST-IN-PLACE CONCRETE.
 2. MIN TOTAL CAPACITY AS SHOWN ON PROJECT PLANS. SINGLE COMPARTMENT TANKS IN SERIES MAY BE INSTALLED AS AN ALTERNATE TO ONE DUAL COMPARTMENT TANK.
 3. DUAL COMPARTMENT TANKS ARE REQUIRED ON ALL TANKS WITH AN INTERIOR LENGTH OF 10 FT OR MORE.
 4. THE FIRST COMPARTMENT OR TANK (INLET SIDE) SHALL LOCATED FOR 60-75% OF THE REQUIRED TOTAL DESIGN VOLUME.
 5. THE Baffle SEPARATING THE COMPARTMENTS SHALL EXTEND FROM THE BOTTOM OF THE TANK TO AT LEAST 6 INCH ABOVE THE INVERT OF THE OUTLET PIPE.
 6. COMPARTMENTS SHALL BE CONNECTED BY A 4 INCH VERTICAL SLOT AT LEAST 18 INCHES 6 INCH ELBOW OR TWO 4 INCH ELBOWS LOCATED AT A DISTANCE BELOW THE LIQUID LEVEL EQUAL TO ONE-THIRD THE DISTANCE BETWEEN THE INVERT OF THE OUTLET AND THE BOTTOM OF THE TANK.
 7. AT LEAST ONE ACCESS MANHOLE SHALL BE PROVIDED INTO EACH COMPARTMENT.
 8. TANKS IN SERIES SHALL BE CONNECTED BY A SINGLE PIPE WITH A MIN DIAMETER OF 4 INCHES.
 9. TANK COVERS SHALL ALWAYS BE ACCESSIBLE. WHERE MANHOLES ARE MORE THAN 12 INCHES BELOW FINAL GRADE, AN EXTENSION COLLAR SHALL BE PROVIDED OVER EACH COVER. EXTENSION COLLARS SHALL NOT BE BROUGHT FLUSH WITH THE GROUND SURFACE UNLESS THE COVER CAN BE LOCKED TO PREVENT TAMPERING.

NTS

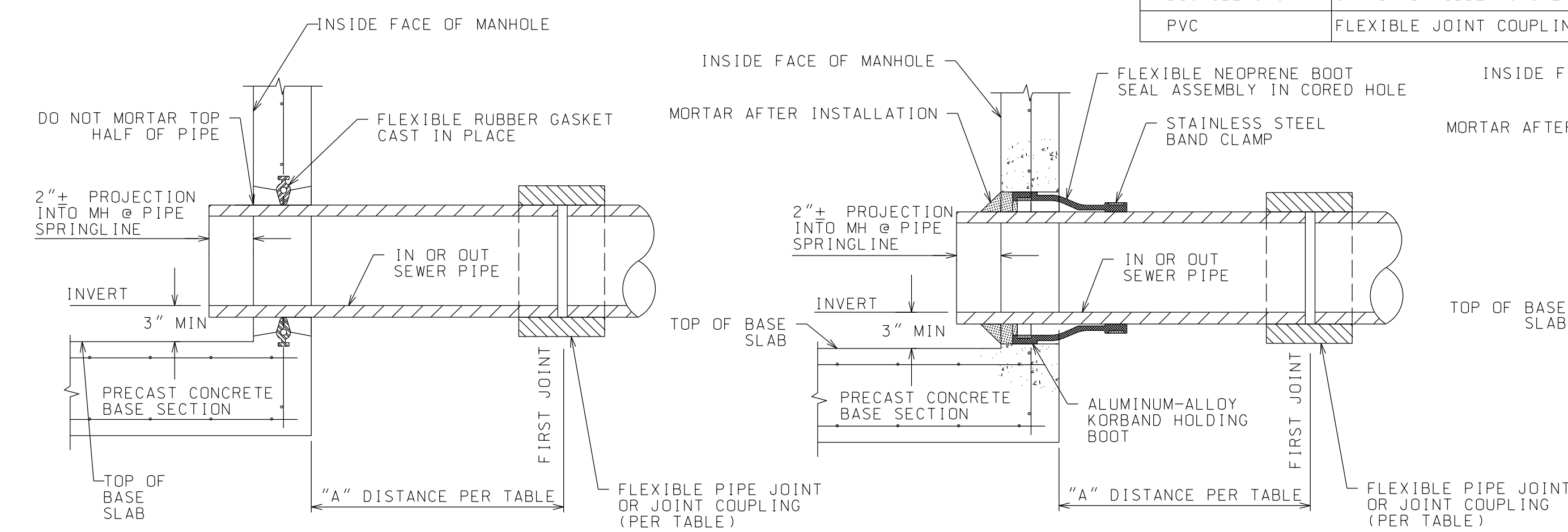


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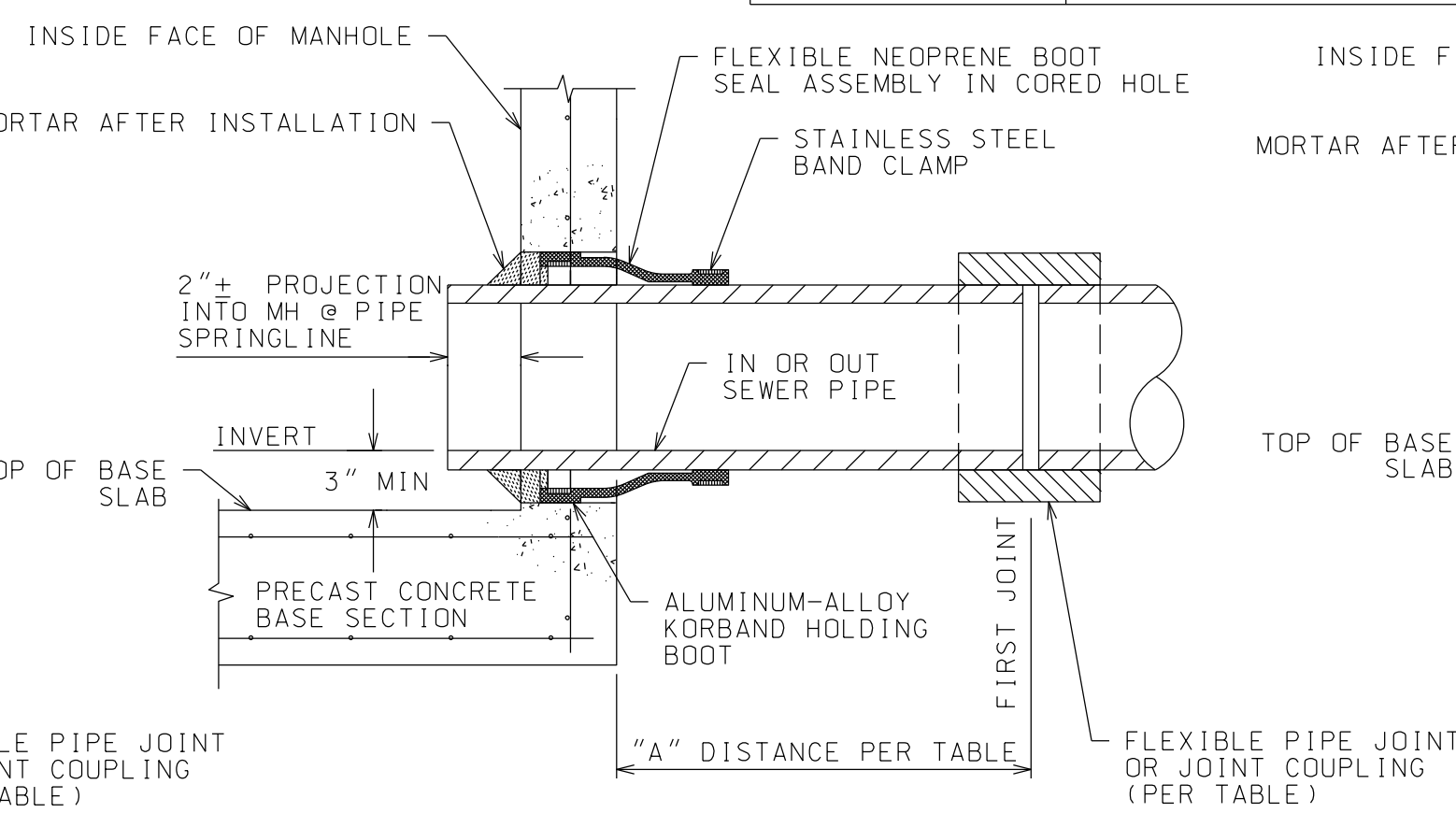
WILMINGTON - RIVERSIDE
KOA HOLIDAY - RIVERSIDE
5644 NYS ROUTE 86, WILMINGTON, NY 12997



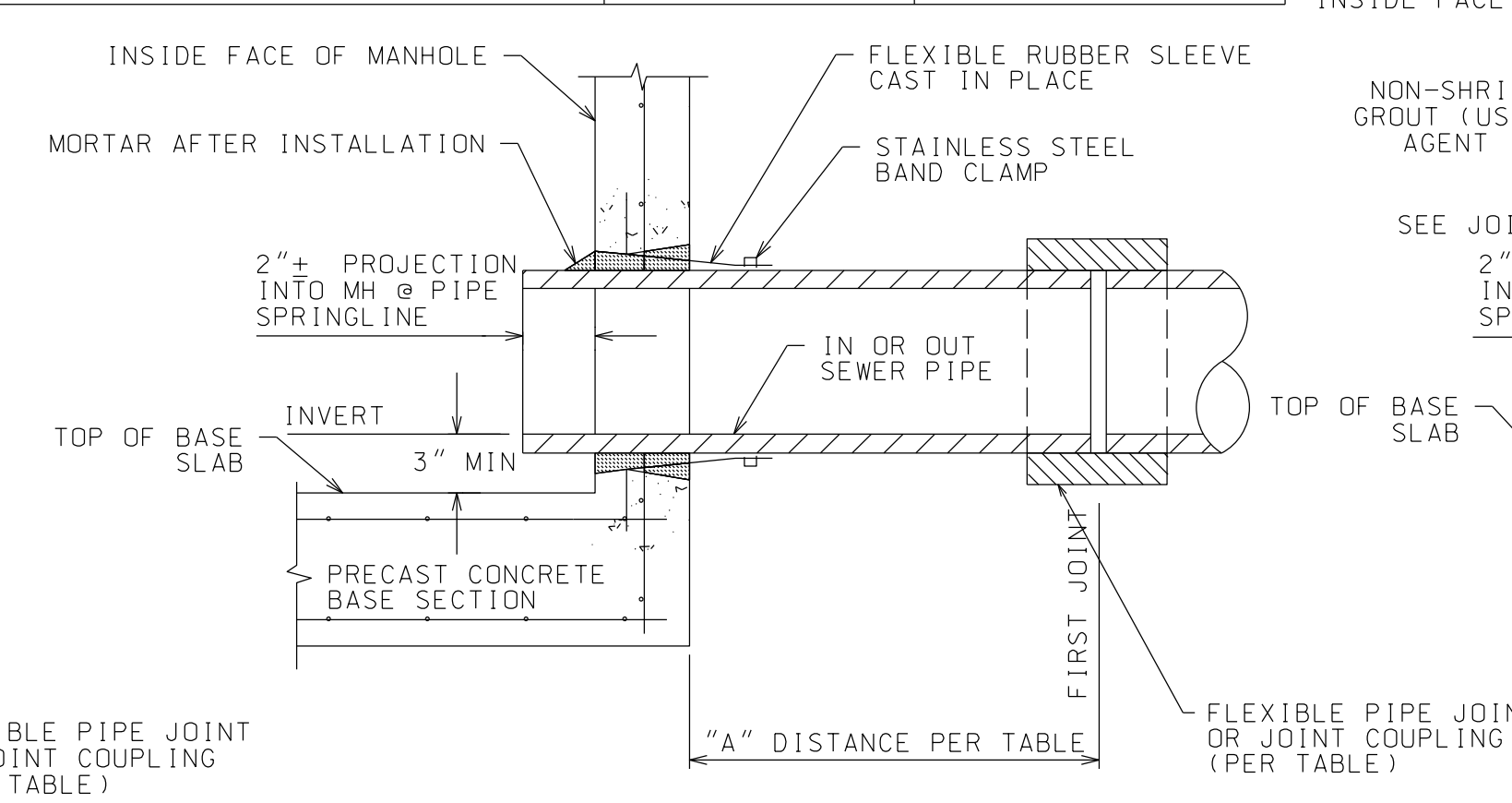
PRECAST CONCRETE MANHOLE
NTS



TYPE A

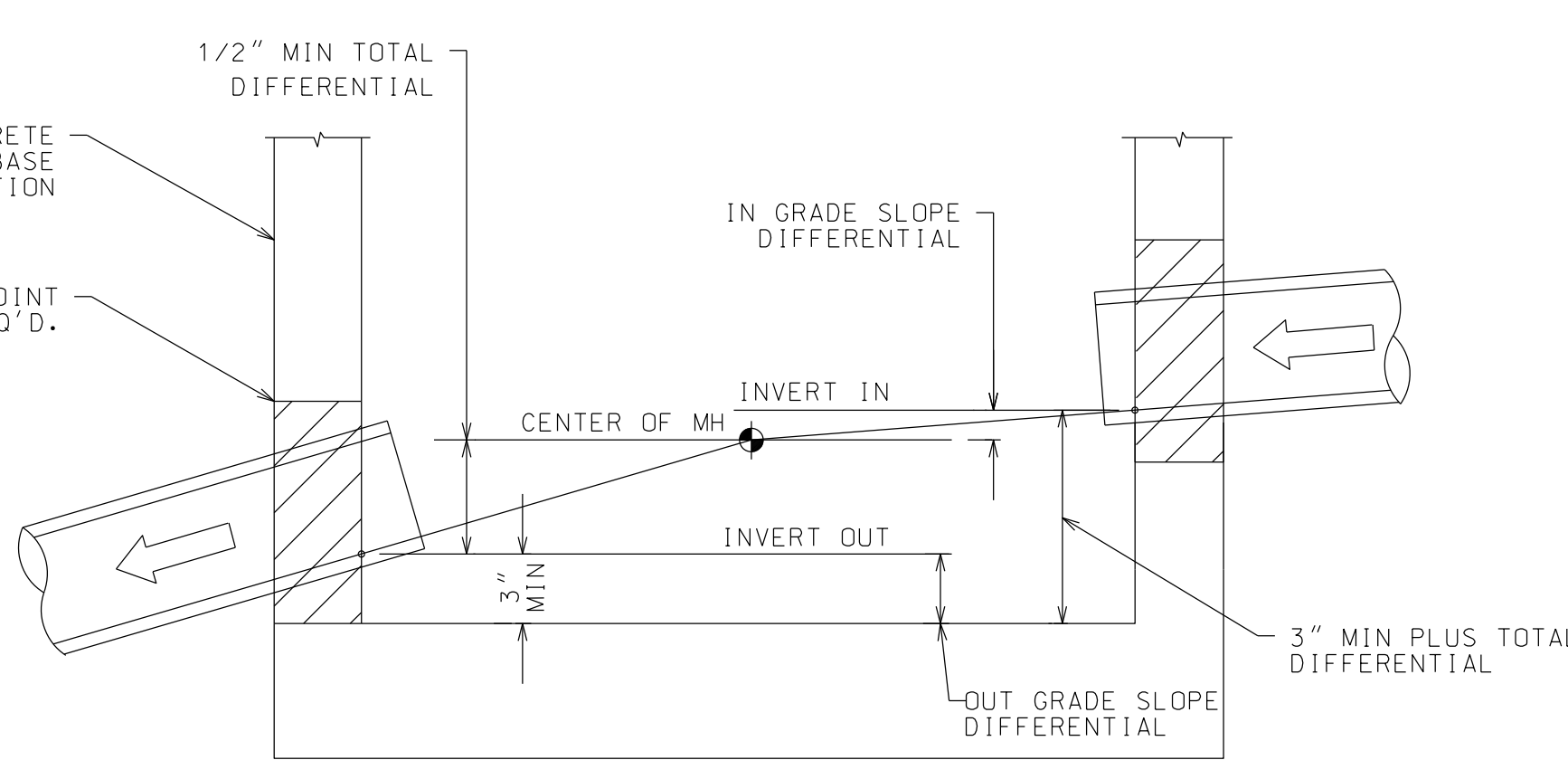


TYPE B



TYPE C

FLEXIBLE PIPE TO MH JOINT DETAIL
NTS



PIPE TO MANHOLE
JOINT PLACEMENT DETAIL
NTS

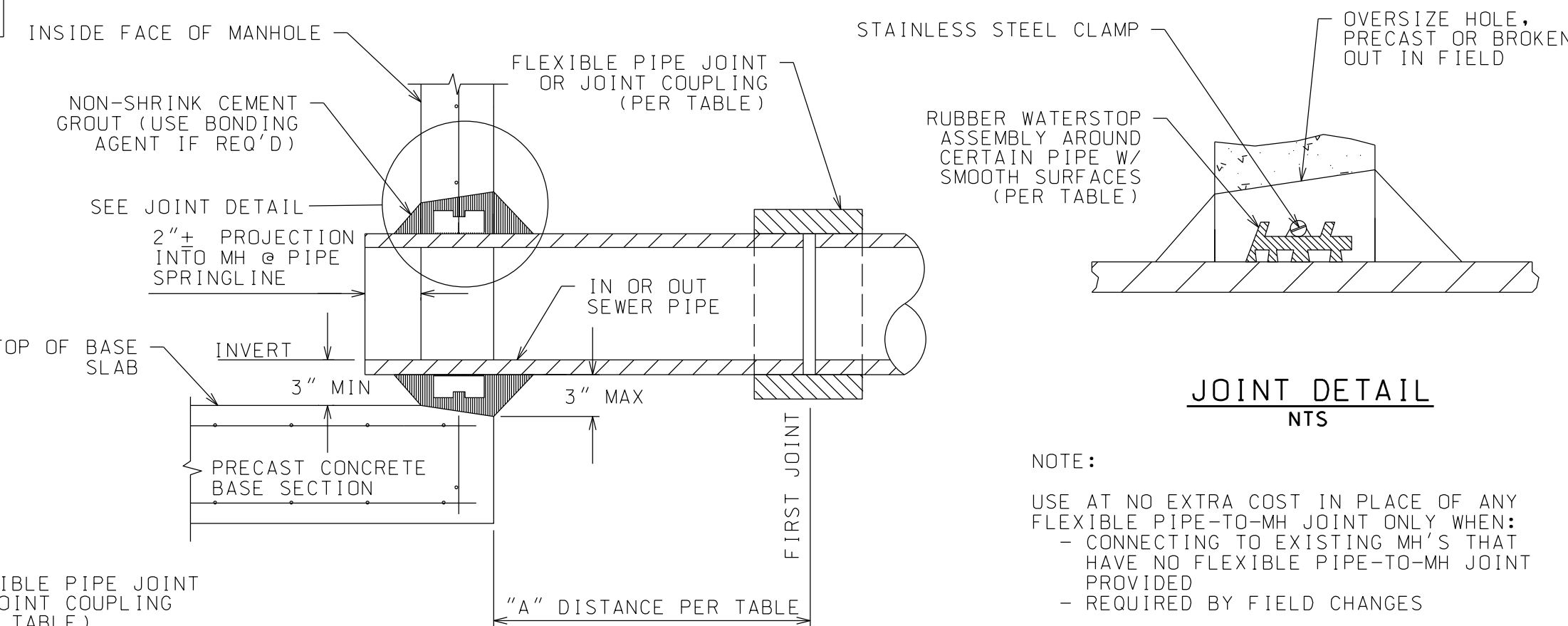
TABLE A			
OUTLET SEWER PIPE SIZE	"D" DIA MIN	"T" WALL THICKNESS MIN	BUTYL ROPE JOINT SEALER SIZE
8 IN THRU 24 IN	4 FT	5 IN	1 IN WIDE
30 IN	5 FT	6 IN	1 1/2 IN WIDE

TABLE B	
CONE & RISER SECTIONS WALL STEEL REINFORCEMENT SIZE	
MANHOLE DIAMETER	CIRCUMFERENTIAL STEEL MIN AREA/LIN FT
4 FT	0.12 SQ IN
5 FT	0.15 SQ IN

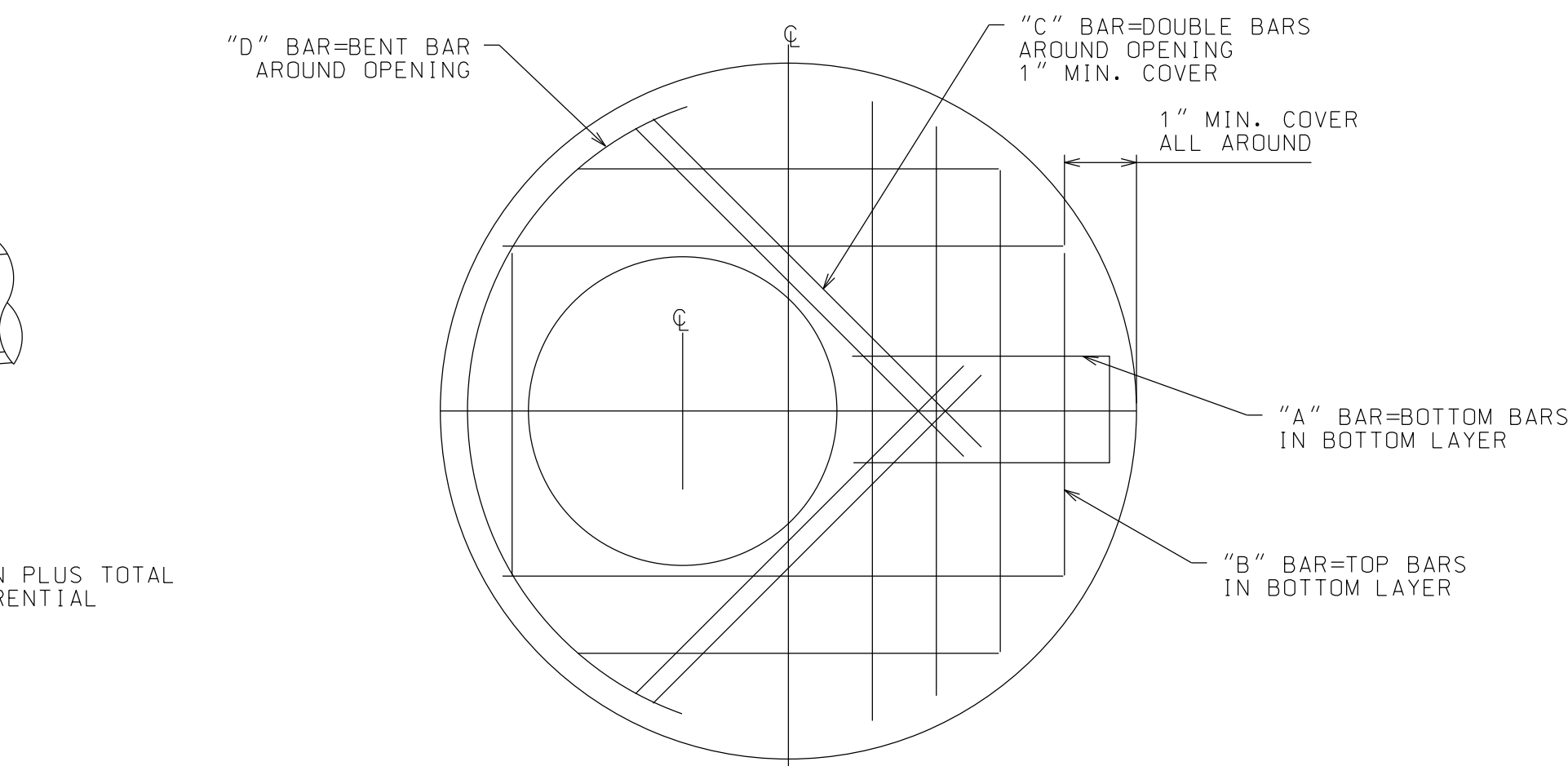
TABLE C		
ACCEPTABLE MANHOLE STEPS *		
MANUFACTURER	GROUTED IN POCKET STEPS **	CAST IN PLACE STEPS **
AMERICAN STEP	ML-13-NCR	
LANE	P-14850	
MA INDUSTRIES	PS2-PF	PS2-PF

* - LOCATE STEPS IN LINE OVER WIDEST PORTION OF BENCHWALL
** - EMBEDDED 4" INTO WALL, COAT EMBEDDED PORTION PLUS 1" (5" MIN.) W/ ASPHALT

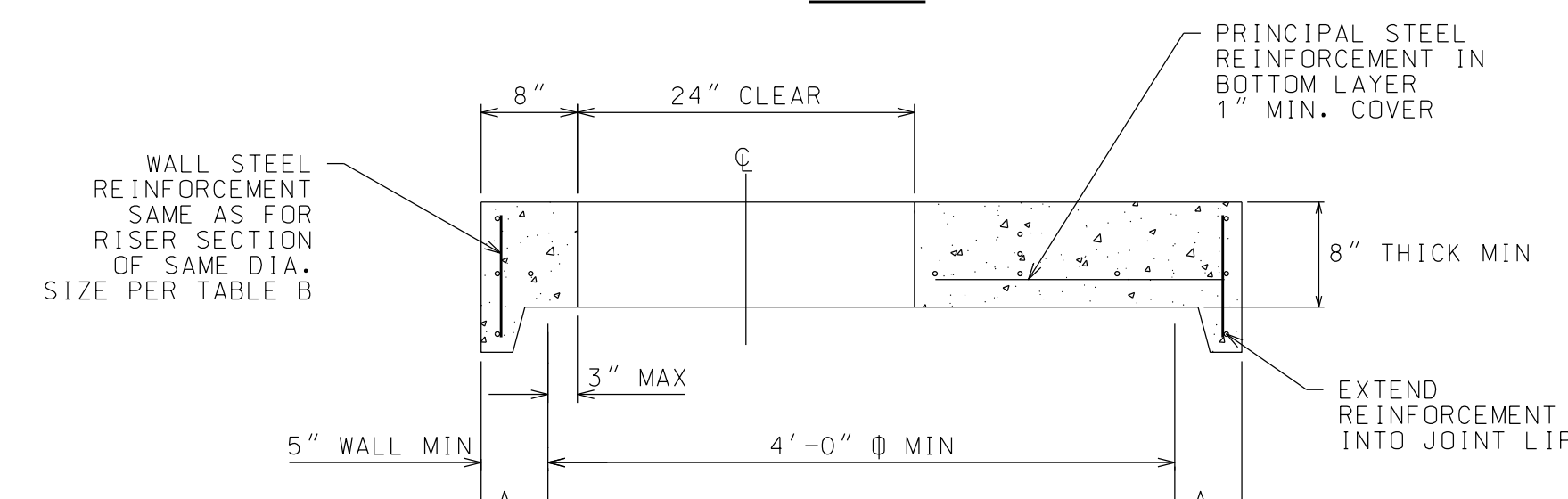
FLEXIBLE JOINT & WATERSTOP REQUIREMENTS			
SEWER PIPE TYPE	FLEXIBLE JOINT TYPE IN & OUT	"A" DISTANCE (FT)	MH WATERSTOP REQ'D
DUCTILE IRON	STANDARD RUBBER GASKET PIPE JOINT ONLY	9 FT MAX	YES
PVC	FLEXIBLE JOINT COUPLING (FERNCO OR EQUAL)	3 FT MAX	YES



CEMENT GROUTED SEAL PIPE-TO-MH DETAIL
NTS



PLAN



SECTION

PRINCIPAL STEEL REINFORCEMENT				
CONDITION	"A" BAR	"B" BAR	"C" BAR	"D" BAR
4 FT DIA MH-GRADE 40 STEEL	#4 @ 9 IN OC	#4 @ 6 IN OC	2- #4 @ 3 FT LG	1- #4 @ 5 FT LG
4 FT DIA MH-GRADE 60 STEEL	#4 @ 13 IN OC	#4 @ 9 IN OC	2- #4 @ 3 FT LG	1- #4 @ 5 FT LG
5 FT DIA MH-GRADE 40 STEEL	#5 @ 6 IN OC	#5 @ 6 IN OC	2- #5 @ 3.5 FT LG	1- #5 @ 5 FT LG
5 FT DIA MH-GRADE 60 STEEL	#5 @ 9 IN OC	#5 @ 9 IN OC	2- #5 @ 3.5 FT LG	1- #5 @ 5 FT LG

NOTES:

1. USE ONLY WHEN CONE SECTION WILL NOT FIT ON SHALLOW MANHOLES.
2. USE AIR ENTRAINED CONCRETE 4000 PSI MIN.
3. FOR OTHER SIZES OF MANHOLE, PROVIDE SUBMITTAL.

FLAT TOP CONCRETE SLAB
NTS

PROJECT NAME

LOCATION

WILMINGTON, NY

DATE	ISSUED FOR	REV
2/15/24	PERMITTING	

DRAWN BY: JRC
CHECKED BY: JAG
PROJECT #: 22-040
ORIGINAL 30"x42"

TITLE

SEWER DETAILS

SHEET

C302

SOIL INFORMATION

SEE SITE PLAN FOR LOCATION OF DEEP HOLE AND PERCOLATION TESTS.

DEEP HOLE (DH1)

DEEP HOLE TEST COMPLETED BY E. MCBATH FROM NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

0"-17" VERY DARK BROWN TOPSOIL LOAM, 10YR/2/2
17"-32" DARK YELLOWISH BROWN FINE SAND, 10YR/3/6
32"-41" DARK YELLOWISH BROWN COARSE SAND WITH GRAVEL, 10YR/4/6
41"-58" DARK YELLOWISH BROWN SAND, 10YR/3/4
58"-BOT DARK GREYISH BROWN VERY COARSE SAND, 10YR/4/2

DEPTH OF HOLE = 78"
DEPTH TO ROOTS = 60"
DEPTH OF SHOW = 38" MOTTLING
LIMITING LAYER = SHGW
WATER SEEPS AT 74"

DEEP HOLE (DH2)

DEEP HOLE TEST COMPLETED BY E. MCBATH FROM NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

0"-15" VERY DARK BROWN TOPSOIL LOAM, 10YR/2/2
15"-47" DARK YELLOWISH BROWN SAND, 10YR/3/4
47"-59" DARK GREYISH BROWN SAND, 2.5Y/4/2
59"-BOT DARK GREYISH BROWN VERY COARSE SAND, 10YR/4/2

DEPTH OF HOLE = 74"
DEPTH TO ROOTS = 48"
DEPTH OF SHOW = 38" MOTTLING
LIMITING LAYER = SHGW
WATER SEEPS AT 71"

DEEP HOLE (DH3)

DEEP HOLE TEST COMPLETED BY E. MCBATH FROM NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

0"-18" VERY DARK BROWN TOPSOIL LOAM, 10YR/2/2
18"-30" DARK YELLOWISH BROWN SAND, 10YR/3/4
30"-54" DARK YELLOWISH BROWN COARSE SAND, 10YR/3/6
54"-BOT DARK GREYISH BROWN VERY COARSE SAND, 10YR/4/2

DEPTH OF HOLE = 72"
DEPTH TO ROOTS = 48"
DEPTH OF SHOW = 37" MOTTLING
LIMITING LAYER = SHGW
WATER SEEPS AT 58"

DEEP HOLE (DH4) - RESERVE AREA

DEEP HOLE TEST COMPLETED BY E. MCBATH FROM NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

0"-20" DARK YELLOWISH BROWN TOPSOIL LOAM, 10YR/3/42
20"-42" DARK YELLOWISH BROWN COARSE SAND, 10YR/4/4
42"-BOT DARK GREYISH BROWN SILT/VERY FINE SAND, 10YR/5/2

DEPTH OF HOLE = 80"
DEPTH TO ROOTS = 38"
DEPTH OF SHOW = 40"
LIMITING LAYER = SHGW
SEEPS AT 48"

PERCOLATION TESTS

PERCOLATION TESTS COMPLETED BY E. MCBATH OF NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

PERCOLATION TEST (PT1-1)

TEST DEPTH = 16"

RUN	TIME
1	1 MIN 41 SEC
2	2 MIN 37 SEC
3	2 MIN 51 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT1-2)

TEST DEPTH = 16"

RUN	TIME
1	0 MIN 57 SEC
2	1 MIN 46 SEC
3	2 MIN 09 SEC
4	2 MIN 09 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT1-3)

TEST DEPTH = 16"

RUN	TIME
1	0 MIN 59 SEC
2	1 MIN 04 SEC
3	1 MIN 11 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TESTS

PERCOLATION TESTS COMPLETED BY E. MCBATH OF NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

PERCOLATION TEST (PT2-1)

TEST DEPTH = 14"

RUN	TIME
1	1 MIN 47 SEC
2	2 MIN 19 SEC
3	2 MIN 21 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT2-2)

TEST DEPTH = 14"

RUN	TIME
1	1 MIN 10 SEC
2	1 MIN 47 SEC
3	2 MIN 17 SEC
4	2 MIN 20 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT2-3)

TEST DEPTH = 14"

RUN	TIME
1	1 MIN 23 SEC
2	2 MIN 26 SEC
3	2 MIN 37 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TESTS

PERCOLATION TESTS COMPLETED BY E. MCBATH OF NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

PERCOLATION TEST (PT3-1)

TEST DEPTH = 13"

RUN	TIME
1	3 MIN 10 SEC
2	3 MIN 32 SEC
3	3 MIN 41 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT3-2)

TEST DEPTH = 13"

RUN	TIME
1	3 MIN 07 SEC
2	3 MIN 32 SEC
3	4 MIN 20 SEC
4	4 MIN 27 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT3-3)

TEST DEPTH = 13"

RUN	TIME
1	3 MIN 48 SEC
2	4 MIN 34 SEC
3	4 MIN 40 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TESTS

PERCOLATION TESTS COMPLETED BY E. MCBATH OF NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

PERCOLATION TEST (PT4-1)

TEST DEPTH = 16"

RUN	TIME
1	2 MIN 30 SEC
2	4 MIN 18 SEC
3	4 MIN 17 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT4-2)

TEST DEPTH = 16"

RUN	TIME
1	1 MIN 41 SEC
2	1 MIN 51 SEC
3	1 MIN 56 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT4-3)

TEST DEPTH = 16"

RUN	TIME
1	2 MIN 35 SEC
2	2 MIN 55 SEC
3	2 MIN 57 SEC

DESIGN PERC RATE 1-5 MIN

DEEP HOLE (DH5) - RESERVE AREA

DEEP HOLE TEST COMPLETED BY E. MCBATH FROM NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

0"-12" VERY DARK BROWN TOPSOIL LOAM, 10YR/2/2
12"-32" DARK YELLOWISH BROWN SAND, 10YR/3/6
32"-50" DARK YELLOWISH BROWN COARSE SAND AND GRAVEL, 10YR/4/4
50"-BOT DARK GREYISH BROWN FINE SAND/SILT, 10YR/4/2

DEPTH OF HOLE = 82"
DEPTH TO ROOTS = 52"
DEPTH OF SHOW = 38" MOTTLING
LIMITING LAYER = SHGW
WATER SEEPS AT 60"

DEEP HOLE (DH7) - RESERVE AREA

DEEP HOLE TEST COMPLETED BY E. MCBATH FROM NORTH WOODS ENGINEERING, PLLC ON 12/05/22.

0"-18" VERY DARK BROWN TOPSOIL LOAM, 10YR/2/2
18"-44" BROWN SAND WITH GRAVEL, 10YR/4/3
44"-BOT DARK GREYISH BROWN SAND WITH GRAVEL, 10YR/4/2

DEPTH OF HOLE = 72"
DEPTH TO ROOTS = 27" MOTTLING
LIMITING LAYER = SHGW
WATER SEEPS AT 60"

PERCOLATION TESTS

PERCOLATION TESTS COMPLETED BY E. MCBATH OF NORTH WOODS ENGINEERING, PLLC ON 10/18/23.

PERCOLATION TEST (PT5-1)

TEST DEPTH = 14"

RUN	TIME
1	2 MIN 08 SEC
2	3 MIN 19 SEC
3	3 MIN 24 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT5-2)

TEST DEPTH = 14"

RUN	TIME
1	3 MIN 42 SEC
2	3 MIN 49 SEC
3	3 MIN 57 SEC

DESIGN PERC RATE 1-5 MIN

PERCOLATION TEST (PT5-3)

TEST DEPTH = 14"

RUN	TIME
1	2 MIN 51 SEC
2	3 MIN 09 SEC
3	3 MIN 17 SEC

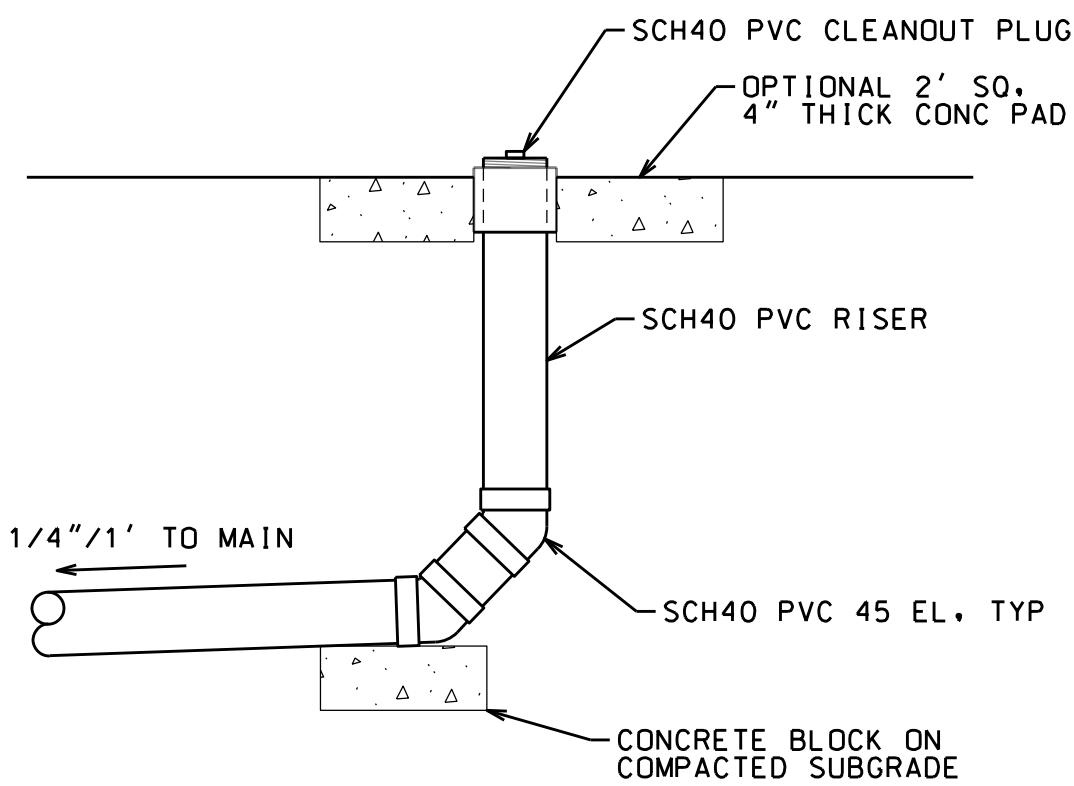
DESIGN PERC RATE 1-5 MIN

PERCOLATION TESTS

NO PERCOLATION TESTS COMPLETED FOR THIS DEEP HOLE.

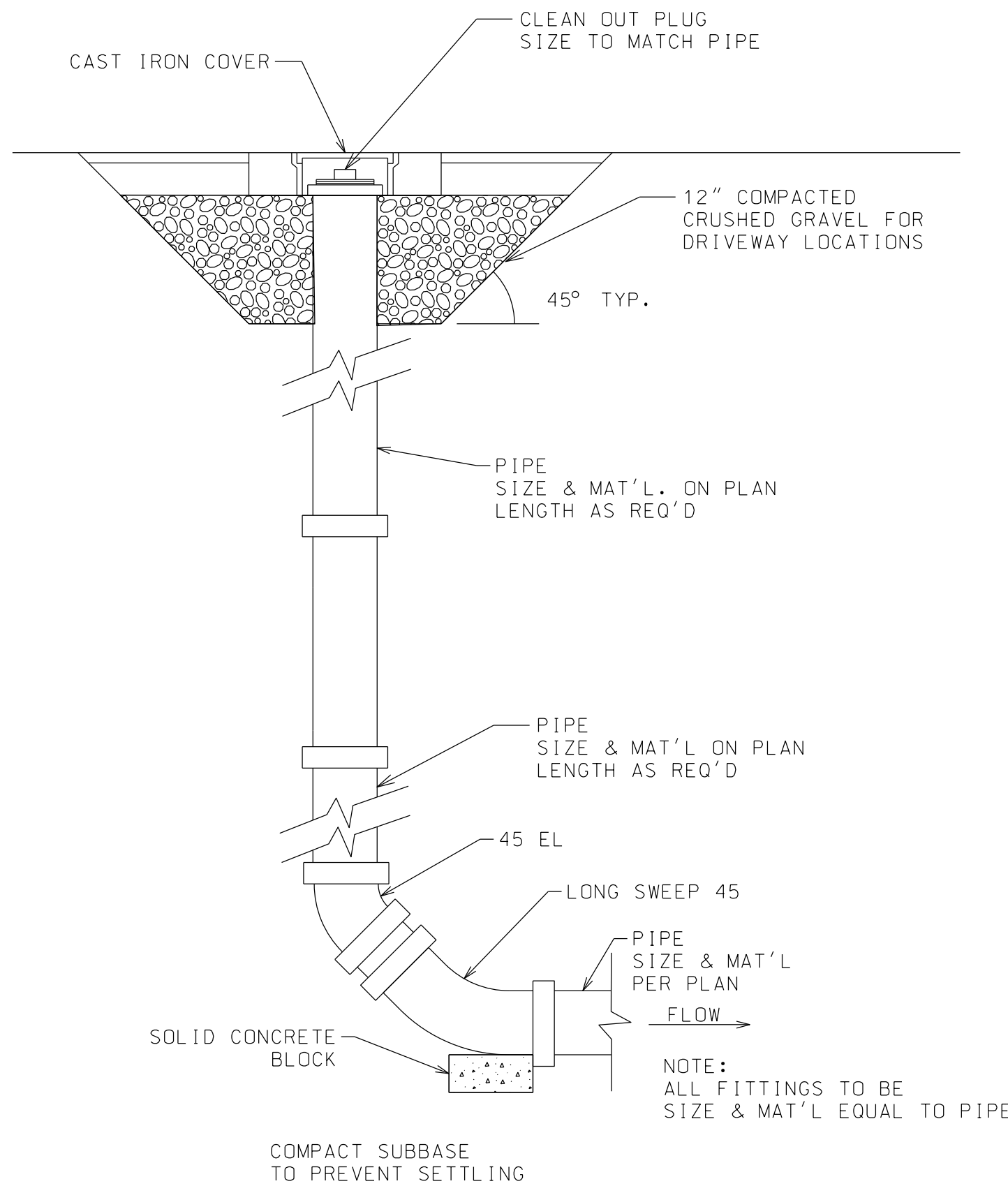
SEPTIC TANK DECOMMISSIONING NOTES

1. A NYSDEC PERMITTED WASTE TRANSPORTER SHALL PUMP OUT THE TANK, WASH OFF, AND REMOVE AS MUCH RESIDUALS AS POSSIBLE. CARE SHALL BE TAKEN WHEN ACCESSING THE CLEANING THE TANK. FOLLOW ALL REQUIRED OSHA STANDARDS.
2. ONCE CLEANED, COAT THE IN INSIDE OF THE TANK WITH LIME.
3. KNOCK IN THE TOP OF THE TANK AND PUNCTURE THE BOTTOM OF THE TANK TO ALLOW FOR DRAINAGE OF GROUND AND SURFACE WATER.
4. BACK FILL THE TANK WITH CLEAN GRAVEL OR SAND.
5. RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED, AND, MULCH, MATCH EXIST ADJACENT GRADES.
6. NOTE LOCATION OF ABANDONED TANK AND OTHER COMPONENTS ON AS-BUILT DRAWINGS.



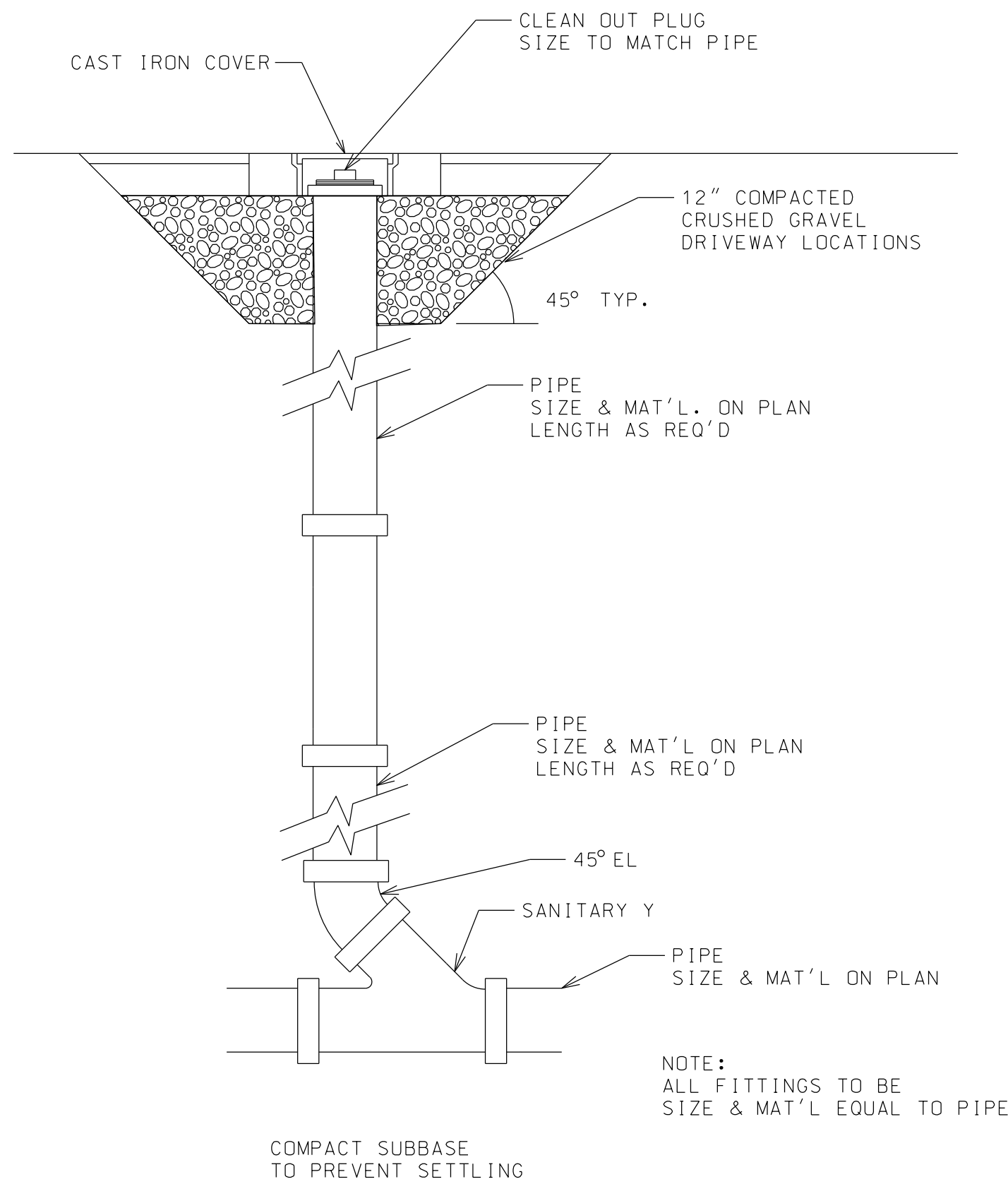
RV SITE SEWER DETAIL

NTS



TERMINAL CLEANOUT DETAIL

NTS



CLEANOUT DETAIL

NTS



WARNING: IT IS A VIOLATION OF NEW YORK STATE LAW FOR ANY PERSON UNLICENSED UNDER THE SUPERVISION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER IN ANY MANNER, IF ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF ALTERATION AND A DESCRIPTION OF THE ALTERATION."

PROJECT NAME
WILMINGTON
KOA HOLIDAY - RIVERSIDE
5644 NYS ROUTE 86, WILMINGTON, NY 12997

LOCATION
WILMINGTON, NY

DATE	ISSUED FOR	REV
2/15/24	PERMITTING	

DRAWN BY: JRC

CHECKED BY: JAG

PROJECT #: 22-040

ORIGINAL 30"x42"

TITLE

SOIL INFO
&
SEWER DETAILS

SHEET

C303

